THE REGENT HOUSE

INTERIOR RENOVATION
CONVERT THE 3 BEDROOM 1 BATH HOUSE
TO
A 4-BEDROOM 2 BATH VIA THE CREATION OF AN ATTIC FLOOR WITH 2 DORMERS

1 REDCOAT LANE, TOWN OF ST GEORGE'S

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH ALL LOCAL CODE REQUIREMENTS.
THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

DESIGN CRITERIA: AS 2014 BRBC/Bermuda Draft Plan 2018
SEE ADDITIONAL NOTES WITHIN PLAN SET.

Property Description

Zone:Institutional
BOCA user Group: R3

Lot size: (est Area within Institutional zone) 6,886 sq.ft

Existing building area: (gross total)
Living: 1,171 sq.ft.

Total: 1,476 sq.ft
(site coverage) 21.34%

Roof Area: 1,198 sq.ft
Tank: unknown gal

Hard surfacing: (gross total)
Existing: 800 sq.ft.
Proposed additional : 0 sq.ft.

Total: 800 surface + 1,476 Bldg sq.ft. = 2,276 sq.ft
Total % of proposed site coverage (BLDG+ hard-surfacing): 33.05%

Bermuda Housing Corporation

REVISION TABLE

NUMBER	DATE	DESCRIPTION

The Regent House Renovation

COVER PAGE

DRAWINGS PROVIDED BY:
Project Management Dept.
KEFJ

DATE:
10/28/2022

SCALE: per plan sheet

REGT-1R

SHEET:
A-1

Structural Notes:
1 Carefully excavate near existing bearing wall and foundations: N/A
2 All steel reinforcing shall be galvanized, of a minimum grade 60 ksi steel. All tie wire shall be galvanized.
3. All concrete shall be a minimum of 3000 psi at 28 days
4. Pour concrete slabs, beams and columns in continuous between supports to avoid cold joints
5. Concrete shall be thoroughly compacted by the use of a vibrator.
6. Minimum coverage for reinforcing steel shall be as follows: Cast against earth-3": Exterior or in Water tanks: 1/1/2": All other places - 1"
7. Lap reinforcing steel in concrete and masonry per table below.
T6 bars 12" T16 Bars 32"
T8 bars 16" T20 Bars 40"
T10 bars 20" T25 Bars 60"
T12 bars 24" Mesh One Square
8. For beams and slabs use continuous bars over spans. Lap bars over supports only except for cantilever steel.
9. Concrete Lintel shall be placed over all openings in CMU / Concrete walls. Lintels shall bear a minimum pf 8" onto blockwalls either side. Reinforcing is to be extended 6" over the support. Cells beneath bearing shall be closed/solid filled down to slab level Lintels shall bear on stone walls a minimum of 12" each side.
10. Unidentified lintels on drawings (new construction/alterations) if cast-in-place reinforced concrete and sized as follows:
Spans from 0' to 4' Width of wall x 8" deep reinforced with 3T12 bottom
Spans from 0' to 6' Width of wall x 10" deep reinforced with 2T12 bottom
Per section 8.6.2 Bearing: Lintels shall bear a minimum of 8" onto masonry walls either side. For openings of 6' or greater the the cells either side of the opening shall be solid filled to the floor below.
11. Block work shall be a minimum of 1900 psi compressive strength. Masonry shall be laid in running bond contraction Fill all cells below grade, at corners, either side of windows/doors opening and cells that are reinforced. All cell shall be cleaned out prior to filling. Concrete fill for block work shall be a minimum of 2000 psi @ 28 days. Block work to be filled in maximum 4' high lifts. Concrete fill shall stopped at 2" from the top of the block cell to allow the next lift to key together.
12. Do not backfill against retaining wall until walls are completed and cured. For subgrade walls place backfill is encountered, notify and consult with the designer.
13. Concrete belt course measuring width of wall X minimum 8" deep shall be poured at roof level, reinforced with a minimum of 2T12 bars. The belt shall be placed over all exterior and interior bearing walls. At corners and intersections of walls bars shall lap 36".
14. Contractor shall install all necessary temporary propping and shoring to the existing structure to adequately support during demolition / excavation / renewal operations. All temporary shoring shall remain in place until all load-bearing members are in place and cured sufficiently to support loads. Contractor shall ensure the the existing structure(s) is (are) not damaged while carrying out with new construction.
15. Connect timber wall plates with 1/2" dia. x 10 long galv. J bolts with 2" hooks cast into concrete beams / belts at 4'-0" C / C and 4" from ends of members. Rafters deep wolmanised pitch pine bolted to concrete belt. Rafters to be connected to wall plate with Simpson Strong Tie Type H2.5 fully nailed galvanized hurricane clips each side. Rafter to have 1" deep birdsmouth connection at wall plate.
16. Timber framing shall be a minimum of No. 2 grade Southern Yellow Pine (Pitched) unless noted elsewhere. All nails,bolts, washers, hurricane clips and anchors shall be galvanized. All exterior timber and timber in contact with concrete, blockwork or stone is to be wolmanised (Pressure Treated) to a minimum standard of 0.25 lbs/ cubic ft. CCA. each side. Rafter to have 1" deep birdsmouth connection at wall plate.
17. Metal decking shall be placed and propped at maximum 5' centers. Propping to be extended down at grade level with loads spread such as not to damage lower structure. Decking shall be galvanized to a minimum grade of G90. Decking shall bear a minimum of 3" onto blockwalls and steel beams. Decking shall be welded to beams at 12" C/C.
18. At the End of each day, Contractor shall secure site to take safety precaution for neighboring community and tradesmen alike.

Bermuda Housing Corporation

REVISION TABLE

NUMBER	DATE	DESCRIPTION

The Regent House Renovation

LOCATION PLAN AND NOTES

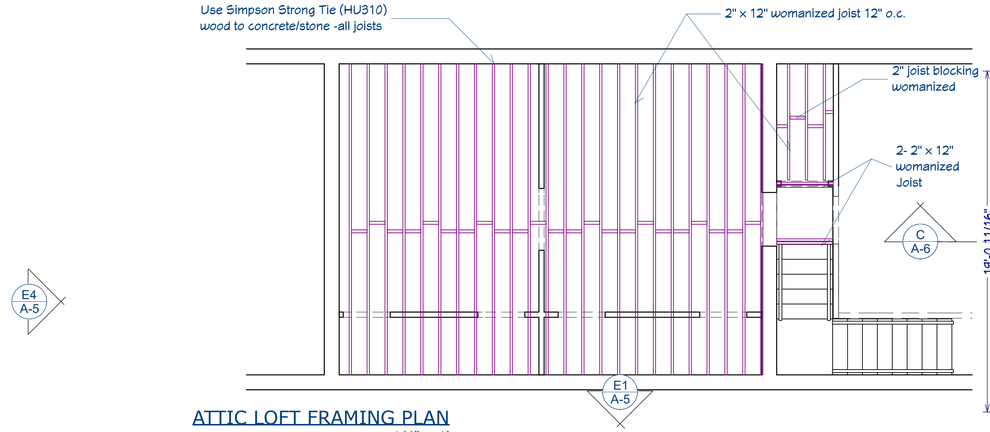
DRAWINGS PROVIDED BY:
Project Management Dept.
KEF.J

DATE:
10/28/2022

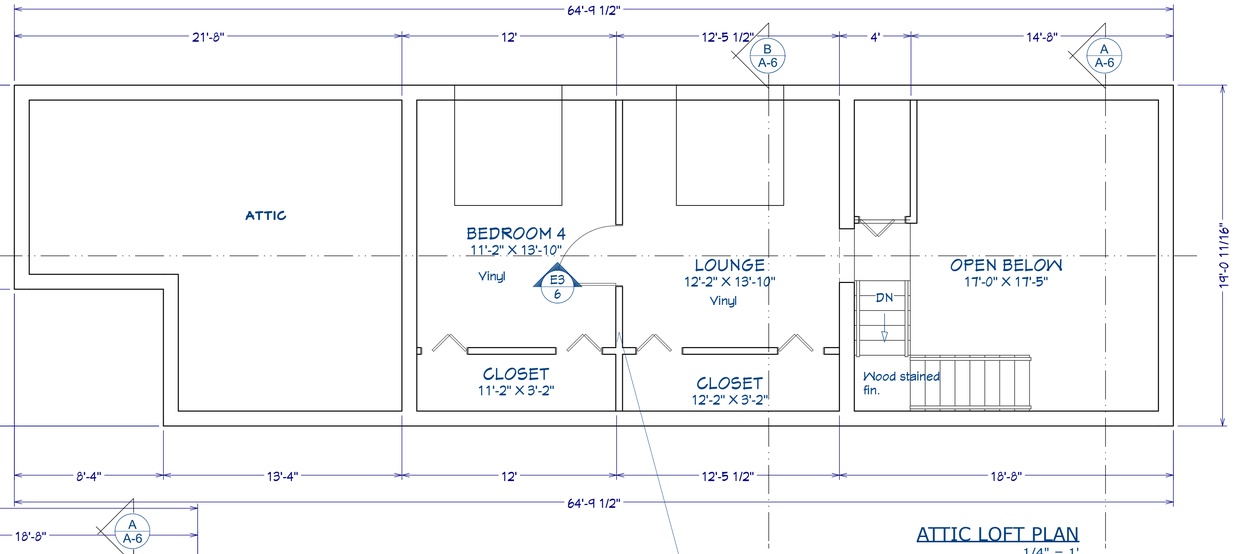
SCALE: per plan sheet

REGT-1R

SHEET:
A-2

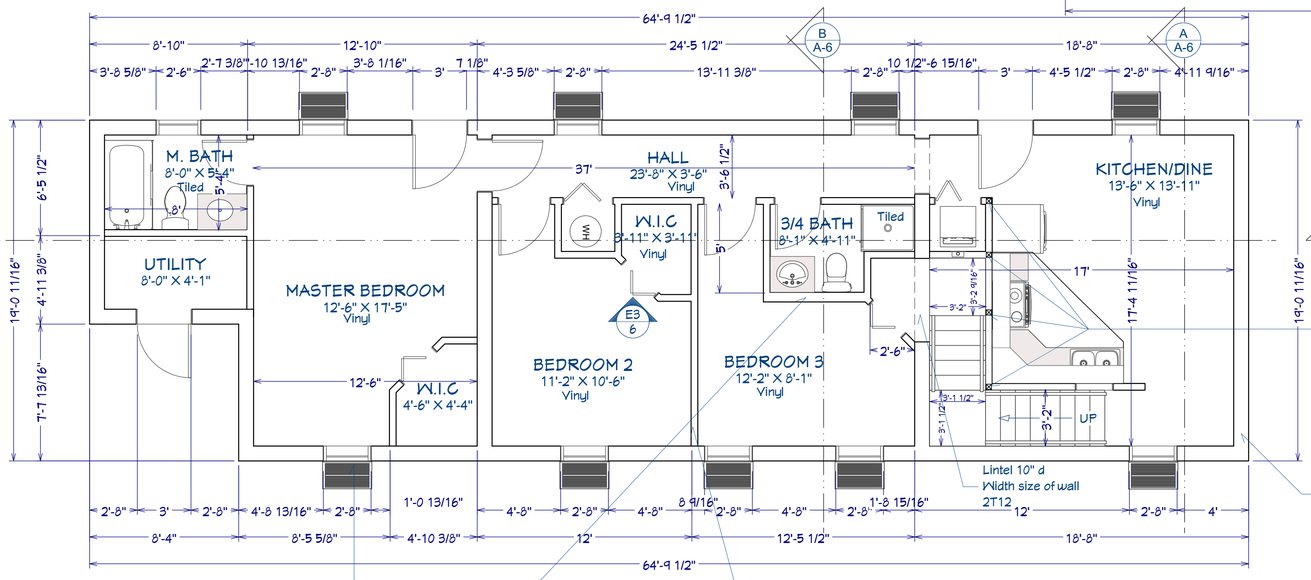


ATTIC LOFT FRAMING PLAN
1/4" = 1'



ATTIC LOFT PLAN
1/4" = 1'

4" Sound BATT insulated
Partition wall (Alum. framing or
womanized 2 x 4) 1/2" Moist /Mold Resistant
drywall (Typical all 4" partition walls)



GROUND FLOOR PLAN
1/4" = 1'

NOTES:
RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR VISUAL REFERENCE ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.
FINAL FINISHES SHALL BE CONFIRMED BY OWNER AT PRE-CONSTRUCTION AND DURING CONSTRUCTION.

4" x 4" womanized post

all exterior walls to receive
xypex/bitumen finish (waterproof/vapour barrier)
to the interior. 2"x furring wood, (if Alum 1-3/8")
insulation, and 1/2" moisture/mold resist. with sandtex
finish. All electrical to be surface mounted to concrete/stone face.

Lintel 10" d
Width size of wall
2T12

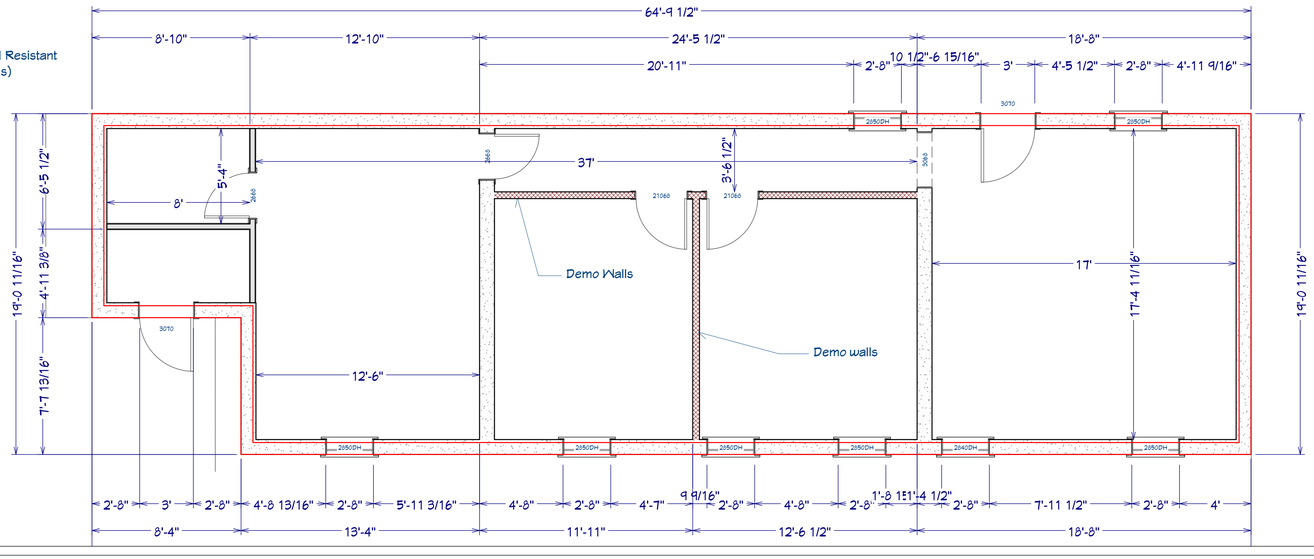
Reset all Door/window openings
according to plan

6" foam spray insulated
Partition wall (Alum. framing or
womanized 2 x 4) 1/2" Moist /Mold Resistant
drywall (Typical all 4" partition walls)

4" Sound BATT insulated
Partition wall (Alum. framing or
womanized 2 x 4) 1/2" Moist /Mold Resistant
drywall (Typical all 4" partition walls)

DEMOLITION NOTES
Access for vehicles/trucking of debris to be via Redcoat Lane.
Remove walls, partitions, structural systems, Mechanical and Electrical services, and associated items as noted.
Finishes to be removed as required to suit new proposal - Refer to Owners Finishes Schedule. Disconnect all power and illumination as necessary for the completion of removal operations. Abandoned services
not to be extended or reused to be removed. Disconnect all service piping necessary for the completion of removal operations. Cap and abandon service lines not
to be extended or reused. Reroute services which must be maintained. Refer to Plumbing & Electrical drwgs for details.
All removed equipment items, walls, Structural, Mechanical, Electrical, and finish materials other than 'Owner salvaged' items
shall be the sole responsibility of the Contractor, and shall be carefully & appropriately removed from the site.
Existing utilities and service lines discovered during removal operations shall be immediately reported to the Contractor
Provide suitable protection for adjacent existing areas before, during and following removal & demolition operations.
Debris shall be carefully removed using adequately enclosed containers to prevent unwanted debris spill during removal.
No material shall be burned, stored or sold in either the building or on the site. All removed material and debris, unless identified otherwise, shall become the Contractor's property and shall be removed immediately and completely from the building and the site.
Leave the site clean, ready for further construction.

EXISTING PLAN (DEMO)
1/4" = 1'



Bermuda Housing Corporation

REVISION TABLE

NUMBER	DATE	DESCRIPTION

The Regent House
Renovation

BUILDING PLANS

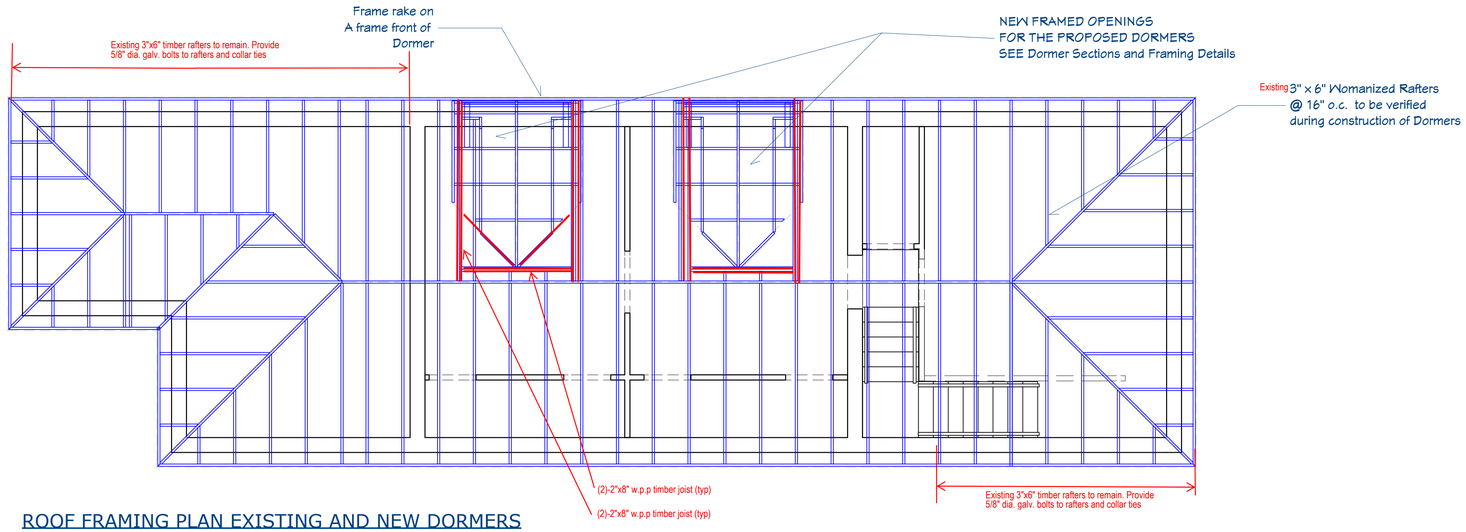
DRAWINGS PROVIDED BY:
Project Management Dept.
KEFJ

DATE:
10/28/2022

SCALE: per plan sheet

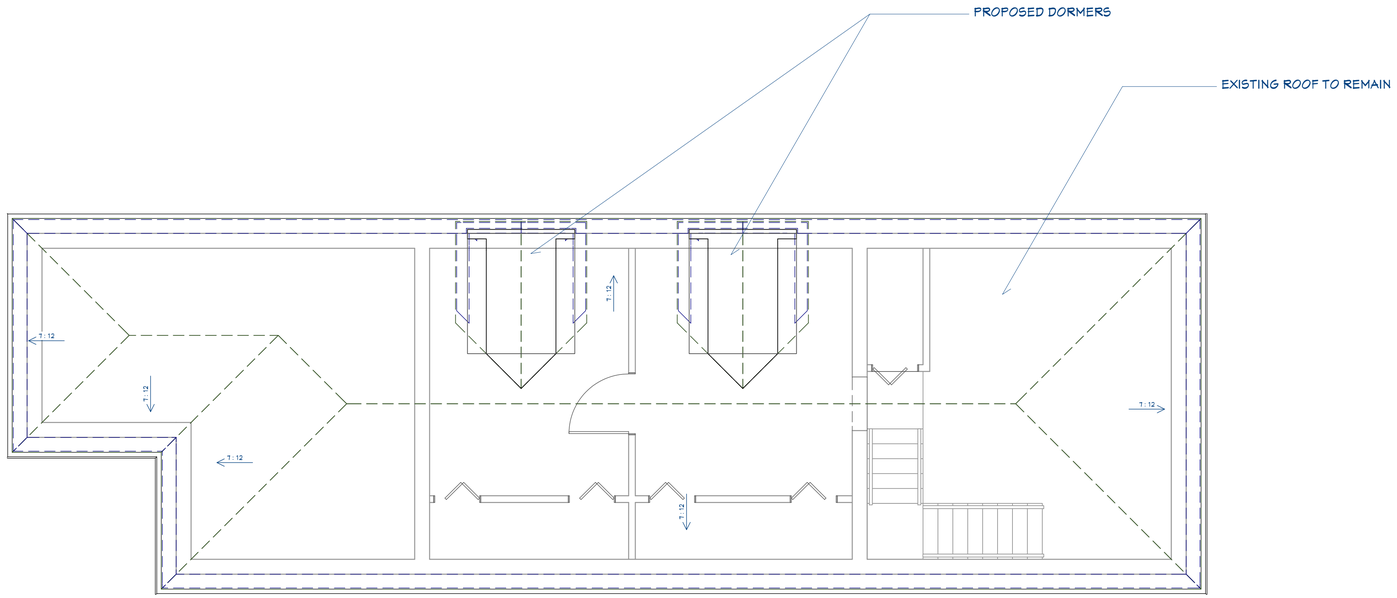
REGT-1R

SHEET:
A-3



ROOF FRAMING PLAN EXISTING AND NEW DORMERS

1/4" = 1'



ROOF PLAN

1/4" = 1'

Bermuda Housing Corporation

REVISION TABLE

NUMBER	DATE	DESCRIPTION

The Regent House
Renovation

BUILDING PLANS

DRAWINGS PROVIDED BY:
Project Management Dept.
KEFJ

DATE:

10/28/2022

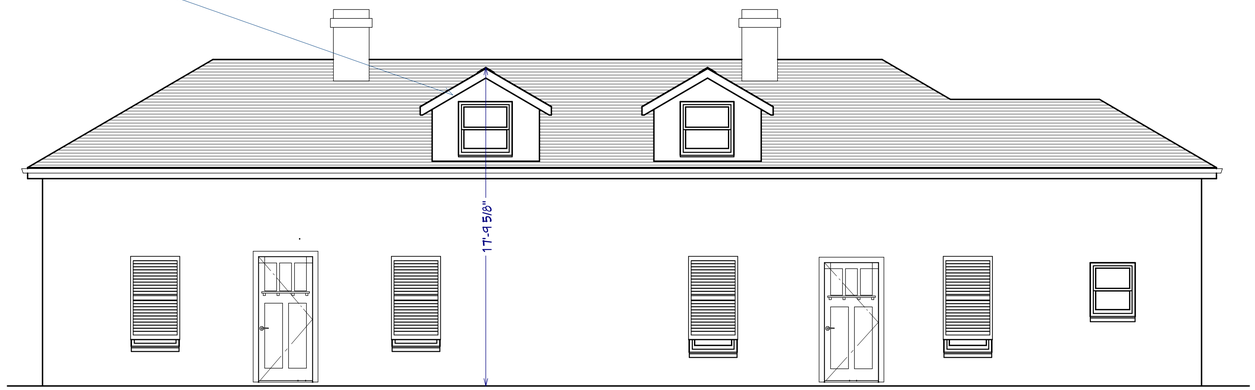
SCALE: per plan sheet

REGT-1R

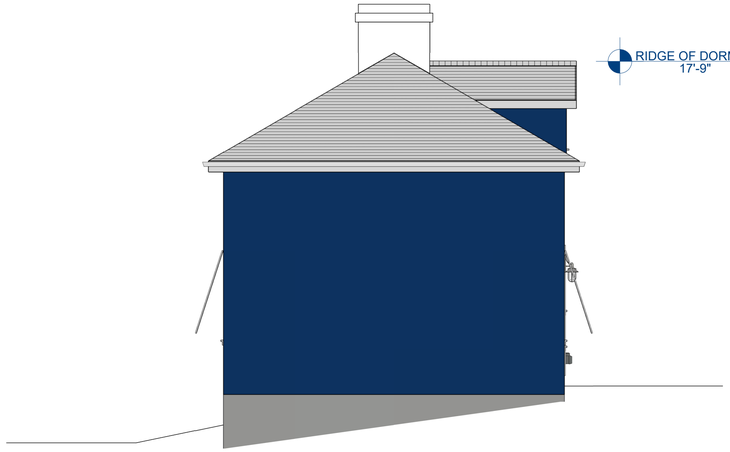
SHEET:

A-4

New SKB (light weight) Hipped Roof Dormer
Pitch @ 5/12



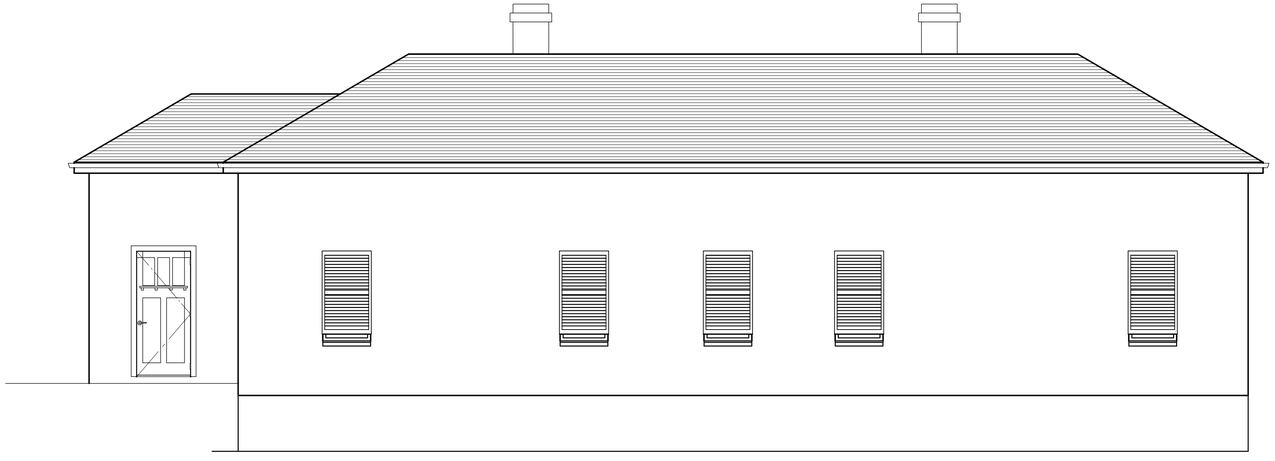
E1 NORTH ELEVATION
1/4" = 1'



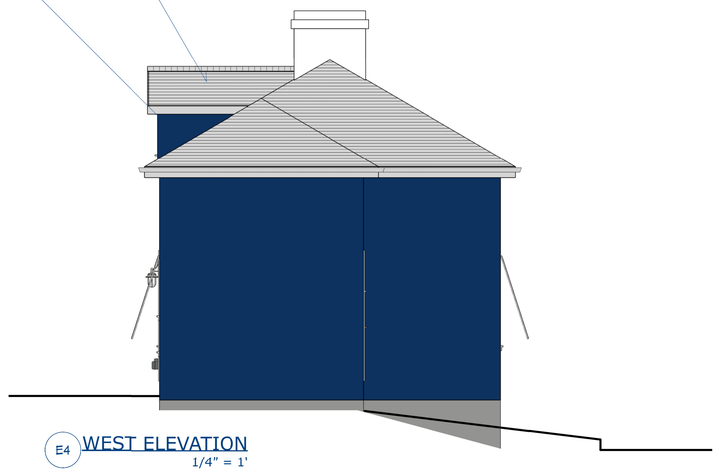
E2 EAST ELEVATION
1/4" = 1'

Roof Shall be TPO system
over fiber cement board
(or SKB cloth application over the
same)

Exterior wall of Dormer
apply stucco finish using fiber mesh over
1/2" Plycem/Cement board taped,
over 3/4" structural Plywood painted
with waterproofing (epoxy /similar).
onto Framed Dormer



E3 SOUTH ELEVATION
1/4" = 1'



E4 WEST ELEVATION
1/4" = 1'

Bermuda Housing Corporation

REVISION TABLE

NUMBER	DATE	DESCRIPTION

The Regent House
Renovation

BUILDING ELEVATIONS

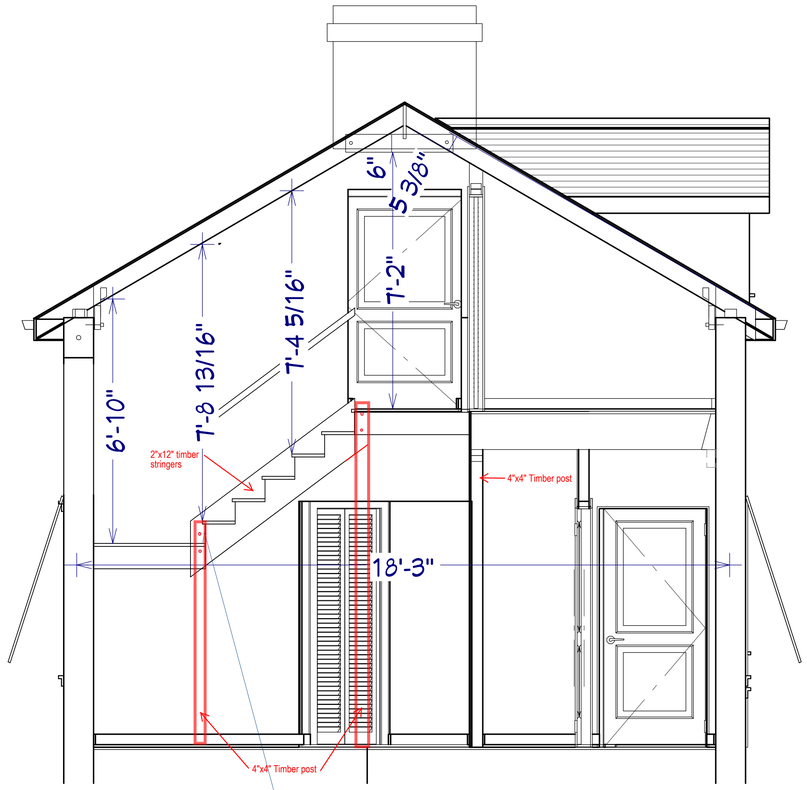
DRAWINGS PROVIDED BY:
Project Management Dept.
KEF.J

DATE:
10/28/2022

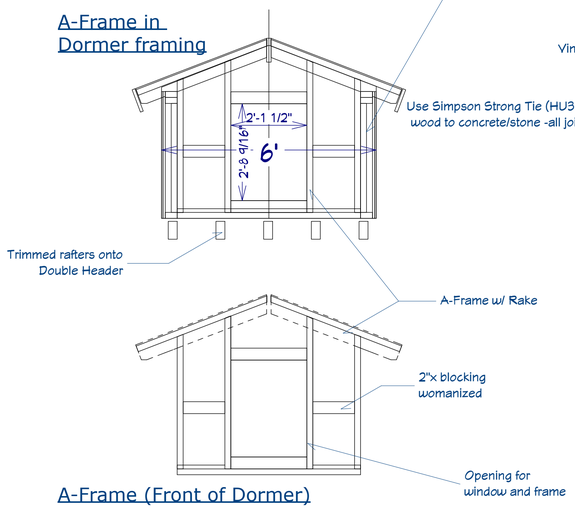
SCALE: per plan sheet

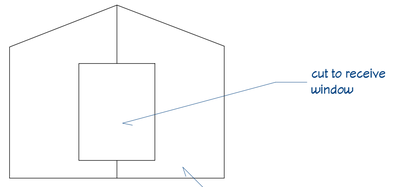
REGT-1R

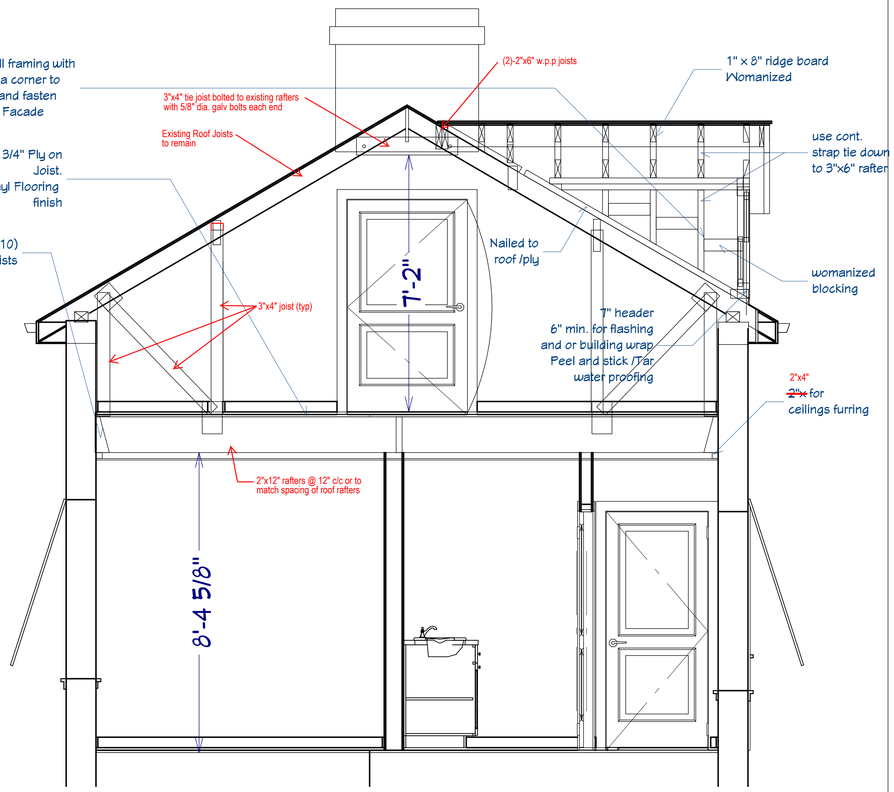
SHEET:
A-5



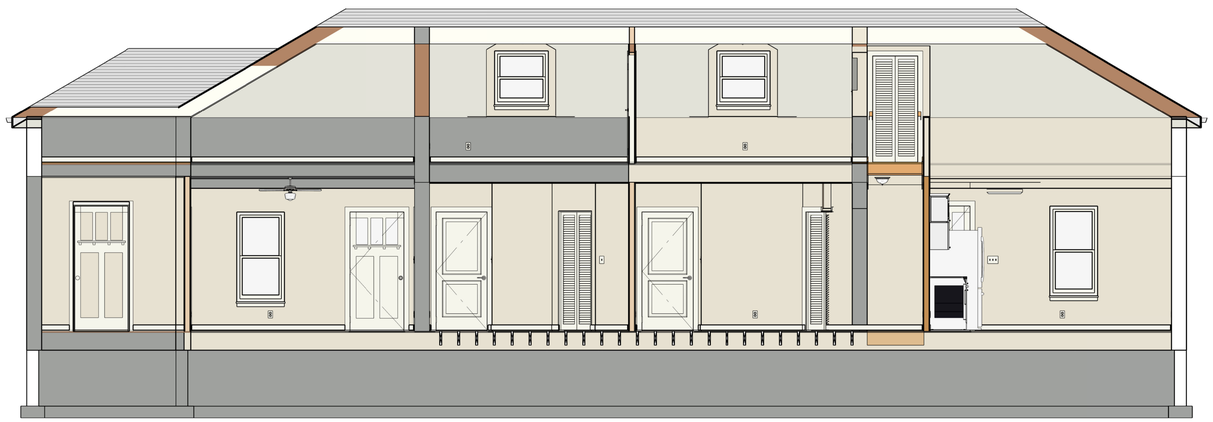
BUILDING SECTION A
1/2" = 1'







BUILDING SECTION B
1/2" = 1'



BUILDING SECTION C
1/4" = 1'

Bermuda Housing Corporation

REVISION TABLE

NUMBER	DATE	DESCRIPTION

The Regent House Renovation

BUILDING SECTIONS

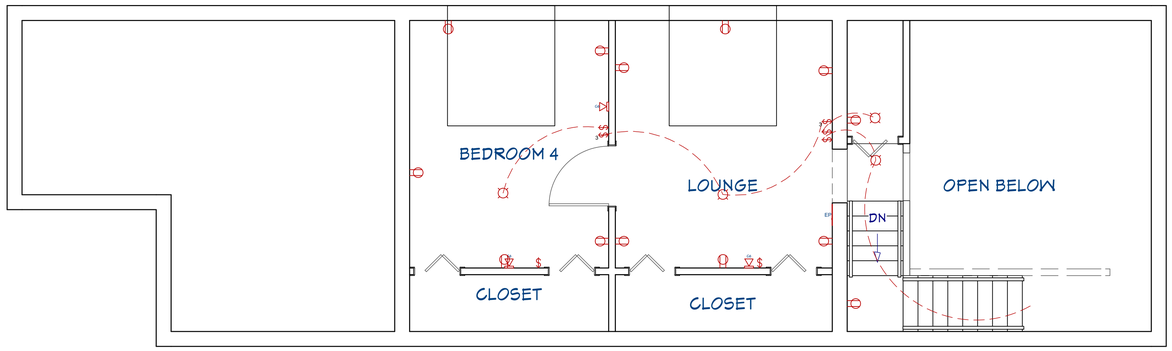
DRAWINGS PROVIDED BY:
Project Management Dept.
KEFJ

DATE:
10/28/2022

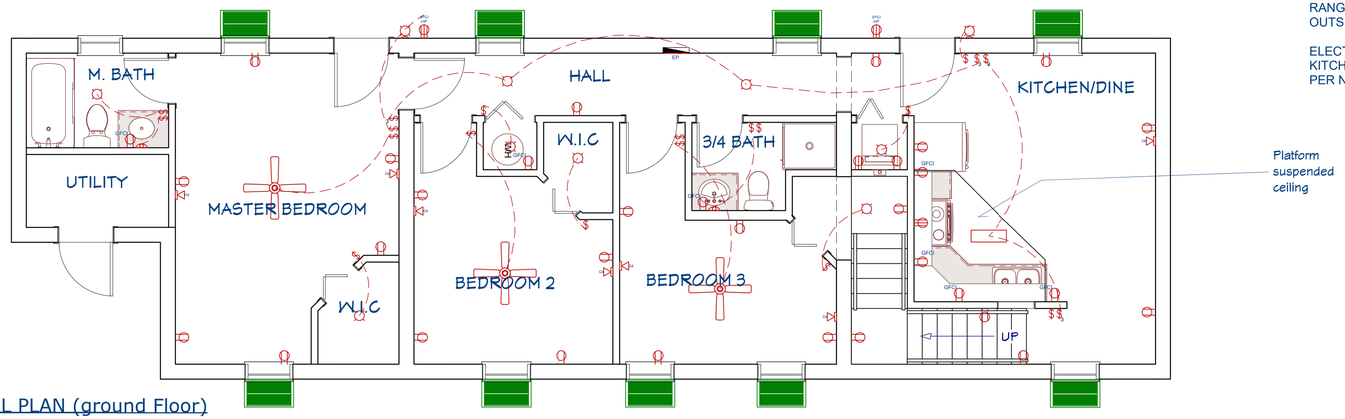
SCALE: per plan sheet

REGT-1R

SHEET:
A-6



ELECTRICAL PLAN (Attic Loft)
1/4" = 1'



ELECTRICAL PLAN (ground Floor)
1/4" = 1'

ELECTRICAL NOTES

- Electrical wiring paths are for visual reference only.
- All Electrical shall be in accordance with the 2014 BRBC (primarily but not limited to) section 20 Electrical
- Electrician shall execute / install in accordance with the 2014 BRBC

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

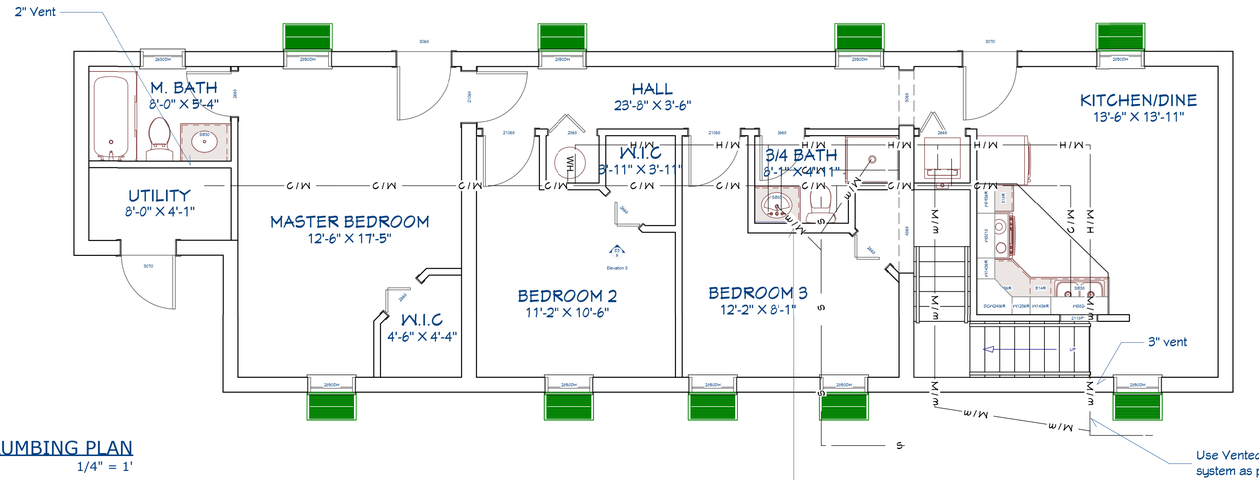
BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
WP GFCI	110V Receptacles: Duplex, Weather Proof, GFCI
WP 3 4	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
DM T	Switches: Dimmer, Timer
AV Control	Audio Video: Control Panel, Switch
SP	Speakers: Ceiling Mounted, Wall Mounted
CS CSTV TV	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
T	Thermostat
	Door Chime, Door Bell Button
SD	Smoke Detectors: Ceiling Mounted, Wall Mounted
EP	Electrical Breaker Panel



PLUMBING PLAN
1/4" = 1'

PLUMBING NOTE:
The illustrated Plumbing herein shall be intent.
All Plumbing shall comply with the BRBC 2014 Sections 22 through 30 including all other associated sections.

Bermuda Housing Corporation

REVISION TABLE

NUMBER	DATE	DESCRIPTION

The Regent House Renovation

ELECTRICAL / PLUMBING PLAN

DRAWINGS PROVIDED BY:
Project Management Dept.
KEFJ

DATE:
10/28/2022

SCALE: per plan sheet
REGT-1R

SHEET:
A-7