

Revision to the approved 14 Residential Lofts and Villas Renovation at 18, 22a and 22b Battery Road St. George's (PHASE 1 & 2) - were adding two units to create a 16-Unit Development.

See new unit matrix
Pg. A16

Property Stats

Lot size: 6.52 acres / 284037.28 sq.ft

Zone: Residential 1

BOCA user Group: R3

Units Per Acre: 6.52 (entitled 130 units)

Existing building area- condos:

19,352 x 2 = 38704 sqft (total)

Existing building area: 1,768 sq.ft Sal Army.,

668 sq.ft 20 battery Cottage,

1,077 sq.ft south ancil/storage.,

2,807 cottage large,

426 sq.ft small cottage,

1187 sqft rectangular cottage,

1076 x 2 = 2,152 sq.ft 2 storey house north

Nursery? 1200

Storage in circle? 800

Total Existing building area:= 30,361 sqft

(site coverage) 10.69%

28 parking bays (cars)

Tank(s) size: N/A (BHC supplied infrastructure)

Cesspit: proposed - 12' x 24' x 8' (2,304 cubic ft.)

Hard surfacing:

Existing: 86,900 sqft

(roads, sidewalks, solid surfaces play areas)

Proposed additional: -4,808 sqft (removed asphalt between Phase I and Phase II)

Total 82,092 sqft 28% hardsurface

Roof Area: 30,361 sq.ft

(Unchanged)

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION



Cover Page

DRAWINGS PROVIDED BY: Housing Development Management

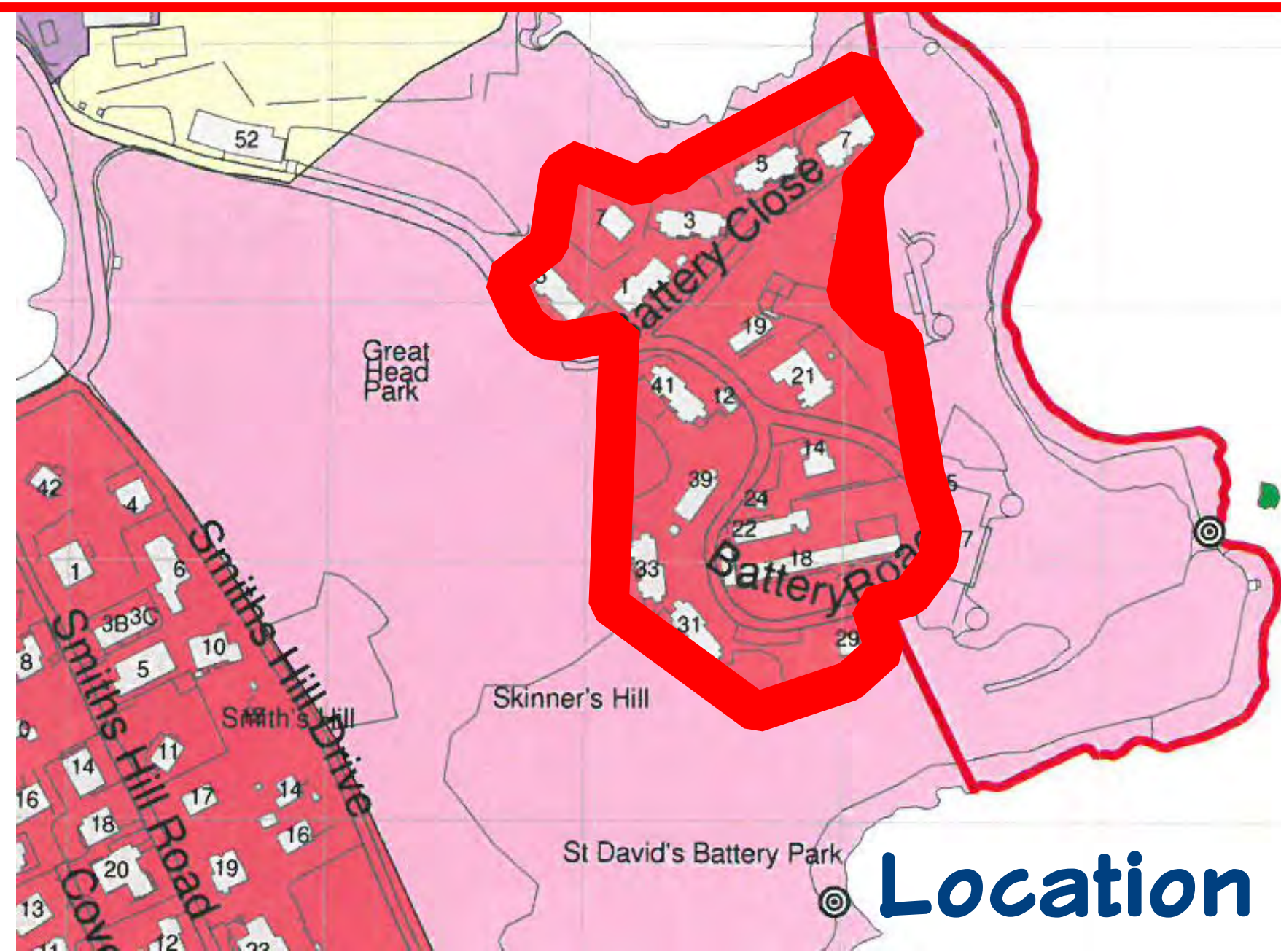
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A-1



Location Plan

Scale: N.T.S

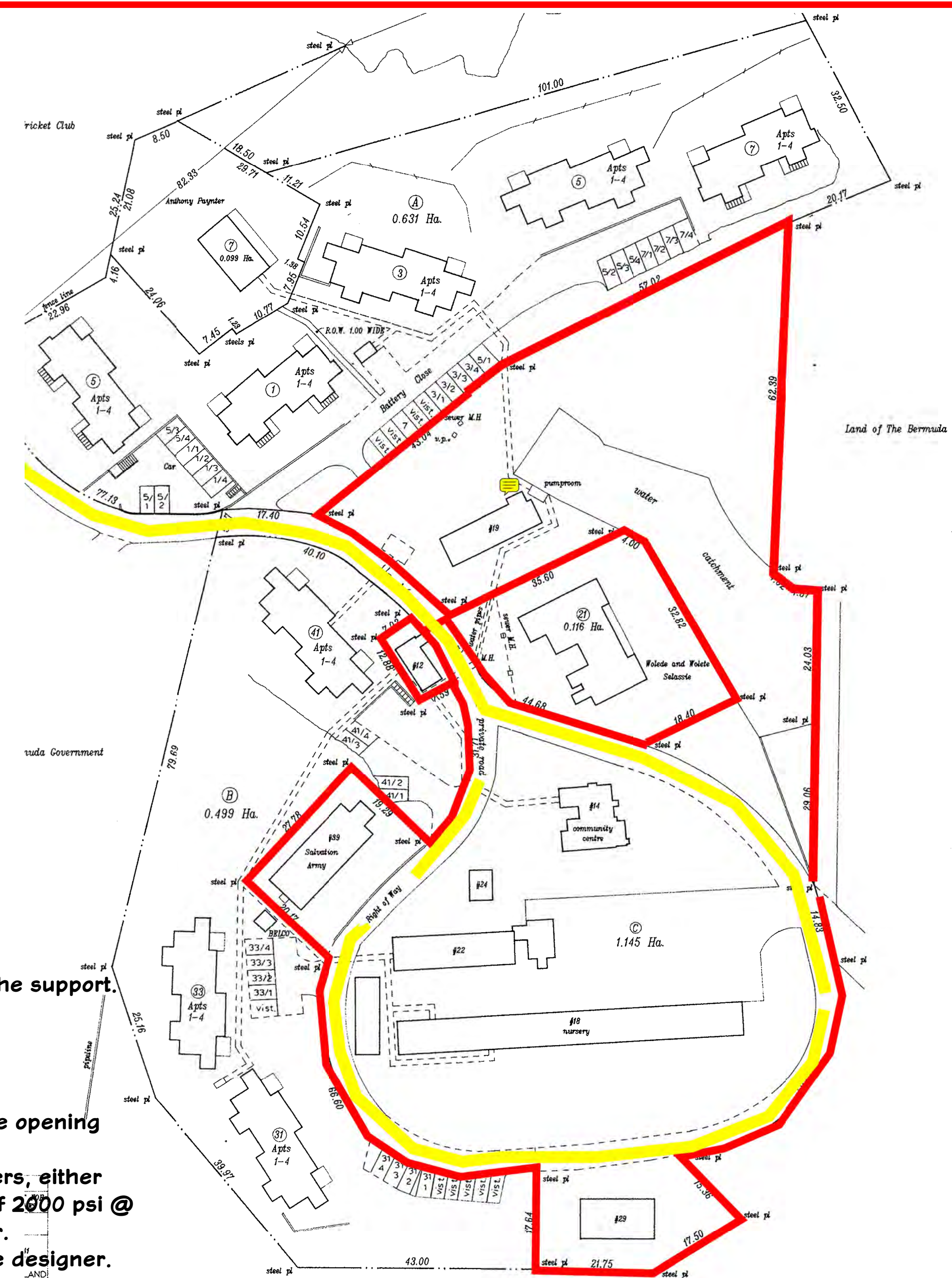
Structural Notes:

1. Carefully excavate near existing bearing wall and foundations:
2. All steel reinforcing shall be galvanized, of a minimum grade 60 ksi steel. All tie wire shall be galvanized.
3. All concrete shall be a minimum of 3000 psi at 28 days
4. Pour concrete slabs, beams and columns in continuous between supports to avoid cold joints
5. Concrete shall be thoroughly compacted by the use of a vibrator.
6. Minimum coverage for reinforcing steel shall be as follows: Cast against earth-3"; Exterior or in Water tanks: 1/1/2"; All other places - 1"
7. Lap reinforcing steel in concrete and masonry per table below.

T6 bars	12"	T16 Bars	32"
T8 bars	16"	T20 Bars	40"
T10 bars	20"	T25 Bars	60"
T12 bars	24"	Mesh	One Square
8. For beams and slabs use continuous bars over spans. Lap bars over supports only except for cantilever steel.
9. Lintel shall be placed over all openings in walls. Lintels shall bear a minimum pf 8" onto blockwalls either side. Reinforcing is to be extended 6" over the support. Cells beneath bearing shall be closed/solid filled down to slab level Lintels shall bear on stone walls a minimum of 12" each side.
10. Unidentified lintels on drawings (new construction/alterations) shall be cast-in-place reinforced concrete and sized as follows:

Spans from 0' to 4'	Width of wall x 8" deep reinforced with 3T12 bottom
Spans from 0' to 6'	Width of wall x 10" deep reinforced with 2T12 bottom

 Per section 8.6.2 Bearing: Lintels shall bear a minimum of 8" onto masonry walls either side. For openings of 6' or greater the the cells either side of the opening shall be solid filled to the floor below.
11. Block work shall be a minimum of 1900 psi compressive strength. Masonry shall be laid in running bond contraction Fill all cells below grade, at corners, either side of windows/doors opening and cells that are reinforced. All cell shall be cleaned out prior to filling. Concrete fill for block work shall be a minimum of 2000 psi @ 28 days. Block work to be filled in maximum 4' high lifts. Concrete fill shall stopped at 2" from the top of the block cell to allow the next lift to key together.
12. Do not backfill against retaining wall until walls are completed and cured. For subgrade walls place backfill is encountered, notify and consult with the designer.
13. Concrete belt course measuring width of wall X minimum 8" deep shall be poured at roof level, reinforced with a minimum of 2T12 bars. The belt shall be placed over all exterior and interior bearing walls. At corners and intersections of walls bars shall lap 36".
14. Contractor shall install all necessary temporary propping and shoring to the existing structure to adequately support during demolition / excavation / renewal operations. All temporary shoring shall remain in place until all loadbearing members are in place and cured sufficiently to support loads. Contractor shall ensure all existing structure is not damaged while carrying out with new construction.
15. Connect timber wall plates with 1/2" dia. x 10 long galv. J bolts with 2" hooks cast into concrete beams / belts at 4'-0" C / C and 4" from ends of members. Rafters deep wolmanised pitch pine bolted to concrete belt. Rafters to be connected to wall plate with Simpson Strong Tie Type H2.5 fully nailed galvanized hurricane clips each side. Rafter to have 1" deep birdsmouth connection at wall plate.
16. Timber framing shall be a minimum of No. 2 grade Southern Yellow Pine (Pitched) unless noted elsewhere. All nails, bolts, washers, hurricane clips and anchors shall be galvanized. All exterior timber and timber in contact with concrete, blockwork or stone is to be wolmanised (Pressure Treated) to a minimum standard of 0.25 lbs/ cubic ft. CCA. each side. Rafter to have 1" deep birdsmouth connection at wall plate.
17. Metal decking shall be placed and propped at maximum 5' centers. Propping to be extended down at grade level with loads spread such as not to damage lower structure. Decking shall be galvanized to a minimum grade of G90. Decking shall bear a minimum of 3" onto blockwalls and steel beams. Decking shall be welded to beams at 12" C/C.
18. At the End of each day, Contractor shall secure site to take safety precaution for neighboring community and tradesmen alike.



Site Plan Area

110,760.63 sq.ft

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



Location Plans and General Notes

DRAWINGS PROVIDED BY:
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 Management

DATE:
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SCALE:

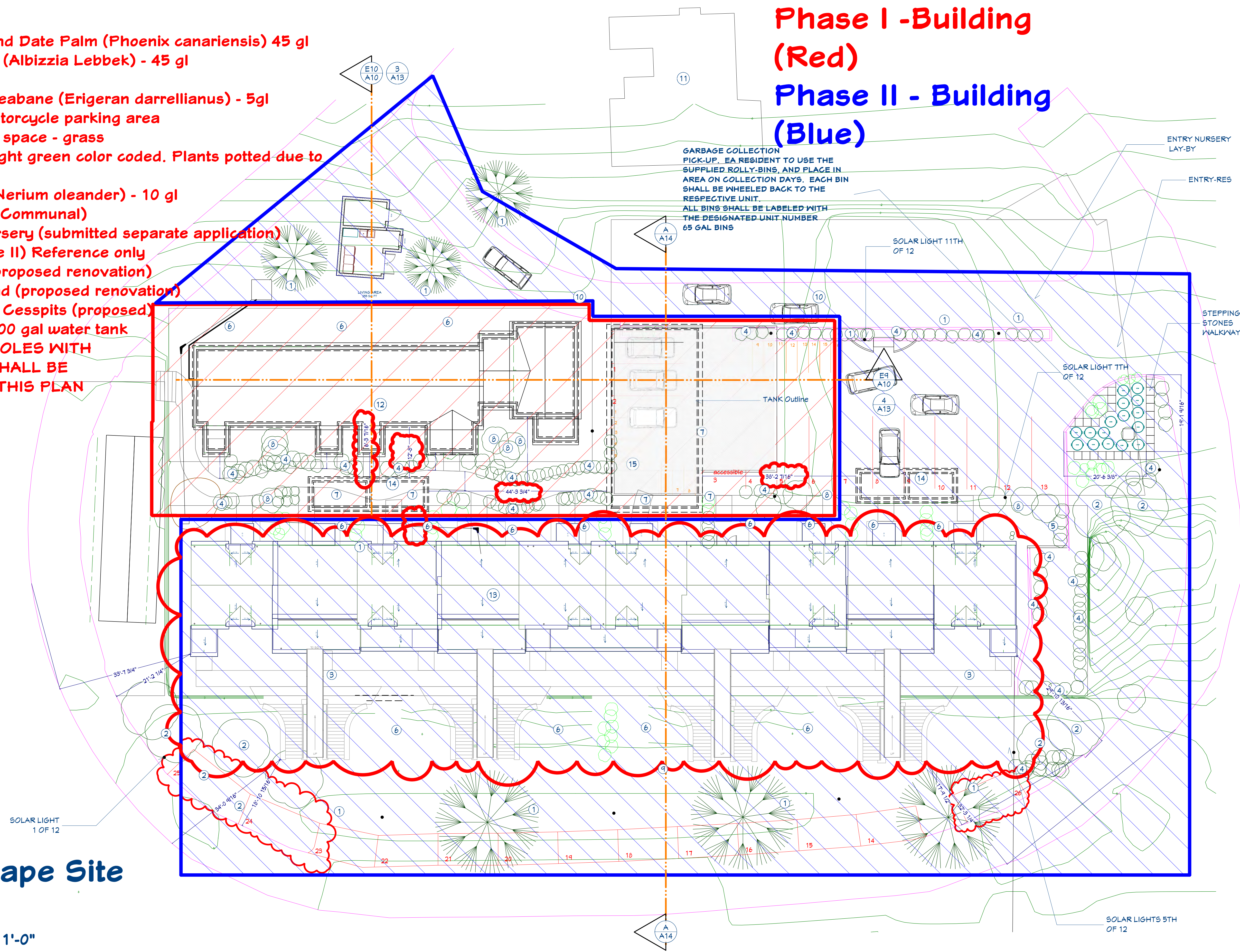
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LEGEND

1. 10- Canary Island Date Palm (Phoenix canariensis) 45 gl
 2. 8 - Black Ebony (Albizia Lebbek) - 45 gl
 3. South courtyard
 4. 88 - Darrell's Fleabane (Erigeran darrellianus) - 5gl
 5. Grasscrete - motorcycle parking area
 6. Private amenity space - grass
 7. Potted plants (light green color coded. Plants potted due to infrastructure)
 8. 10 - Oleander (Nerium oleander) - 10 gl
 9. Amenity space (Communal)
 10. Bypass for Nursery (submitted separate application)
 11. Nursery (phase II) Reference only
 12. 22a and 22b (proposed renovation)
 13. 18 Battery Road (proposed renovation)
 14. East and West Cesspits (proposed)
 15. Proposed 82,000 gal water tank
- Note: 12 - 16 FT POLES WITH SOLAR LIGHTS SHALL BE INSTALLED SEE THIS PLAN SYMBOL ●

Phase I - Building (Red)
Phase II - Building (Blue)



GARBAGE COLLECTION PICK-UP. EA RESIDENT TO USE THE SUPPLIED ROLLY-BINS, AND PLACE IN AREA ON COLLECTION DAYS. EACH BIN SHALL BE WHEELED BACK TO THE RESPECTIVE UNIT. ALL BINS SHALL BE LABELED WITH THE DESIGNATED UNIT NUMBER 65 GAL BINS

Landscape Site Plan:
 Scale: 3/32" = 1'-0"

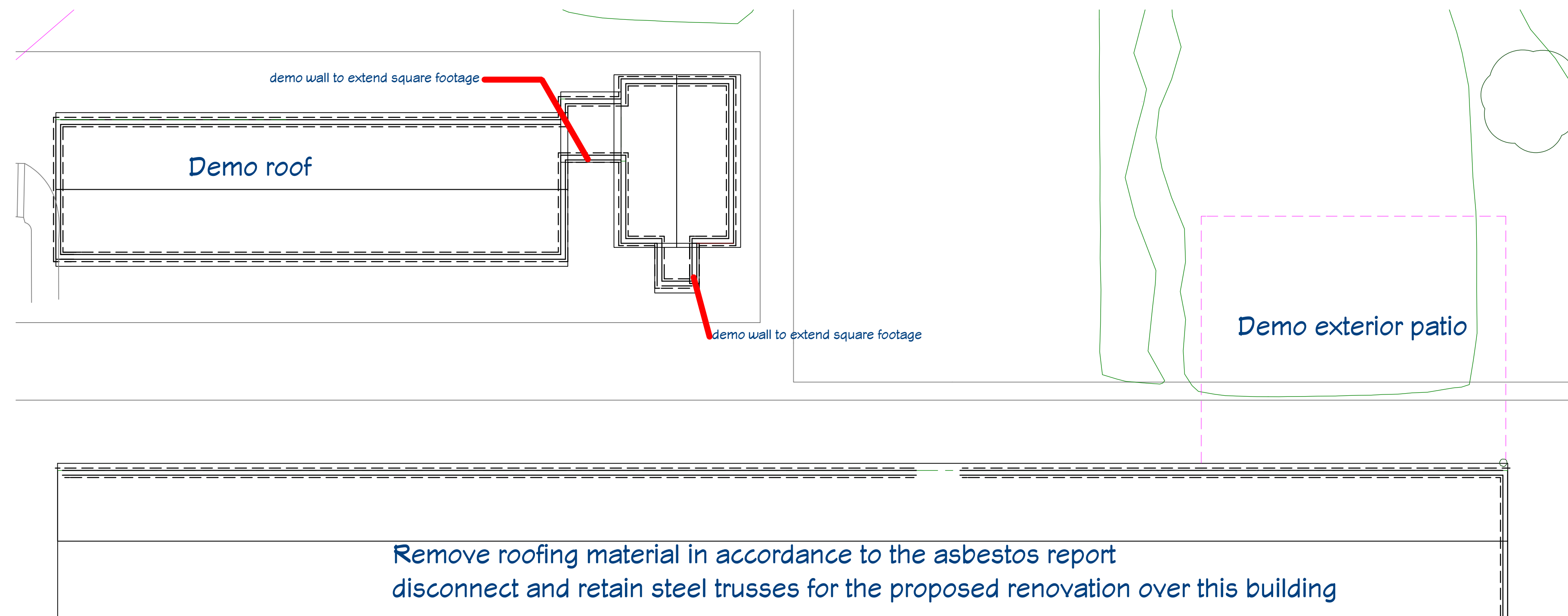
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LANDSCAPE - Site Plan

HOUSING DEVELOPMENT MANAGEMENT
 DRAWINGS PROVIDED BY:

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Site Plan:

Scale: 3/32" = 1'-0"

DEMOLITION NOTES

Access for vehicles/trucking of debris to be via Westcott Lane.

Remove walls, partitions, structural systems, Mechanical and Electrical services, and associated items as noted.

Finishes to be removed as required to suit new proposal - Refer to Owners Finishes Schedule.

Disconnect all power and illumination as necessary for the completion of removal operations. Abandoned services not to be extended or reused to be removed.

Disconnect all service piping necessary for the completion of removal operations. Cap and abandon service lines not to be extended or reused. Reroute services which must be maintained. Refer to Plumbing & Electrical drwgs for details.

All removed equipment items, walls, Structural, Mechanical, Electrical, and finish materials other than 'Owner salvaged' items shall be the sole responsibility of the Contractor, and shall be carefully & appropriately removed from the site.

Existing utilities and service lines discovered during removal operations shall be immediately reported to the Contractor

Provide suitable protection for adjacent existing areas before, during and following removal & demolition operations.

Debris shall be carefully removed using adequately enclosed containers to prevent unwanted debris spill during removal.

No material shall be burned, stored or sold in either the building or on the site. All removed material and debris, unless identified otherwise, shall become the Contractor's property and shall be removed immediately and completely from the building and the site.

Leave the site clean, ready for further construction.

REVISION TABLE	
NUMBER	DATE



Demo Plan

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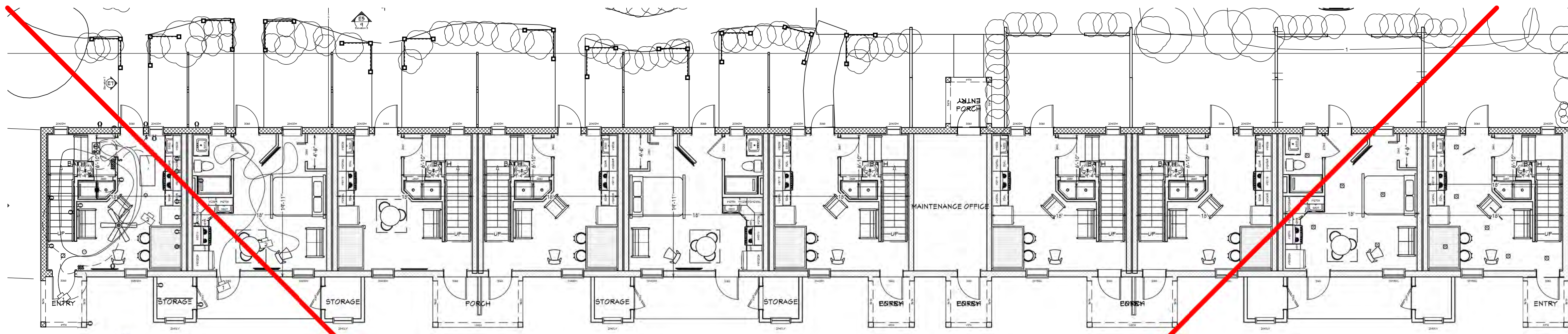
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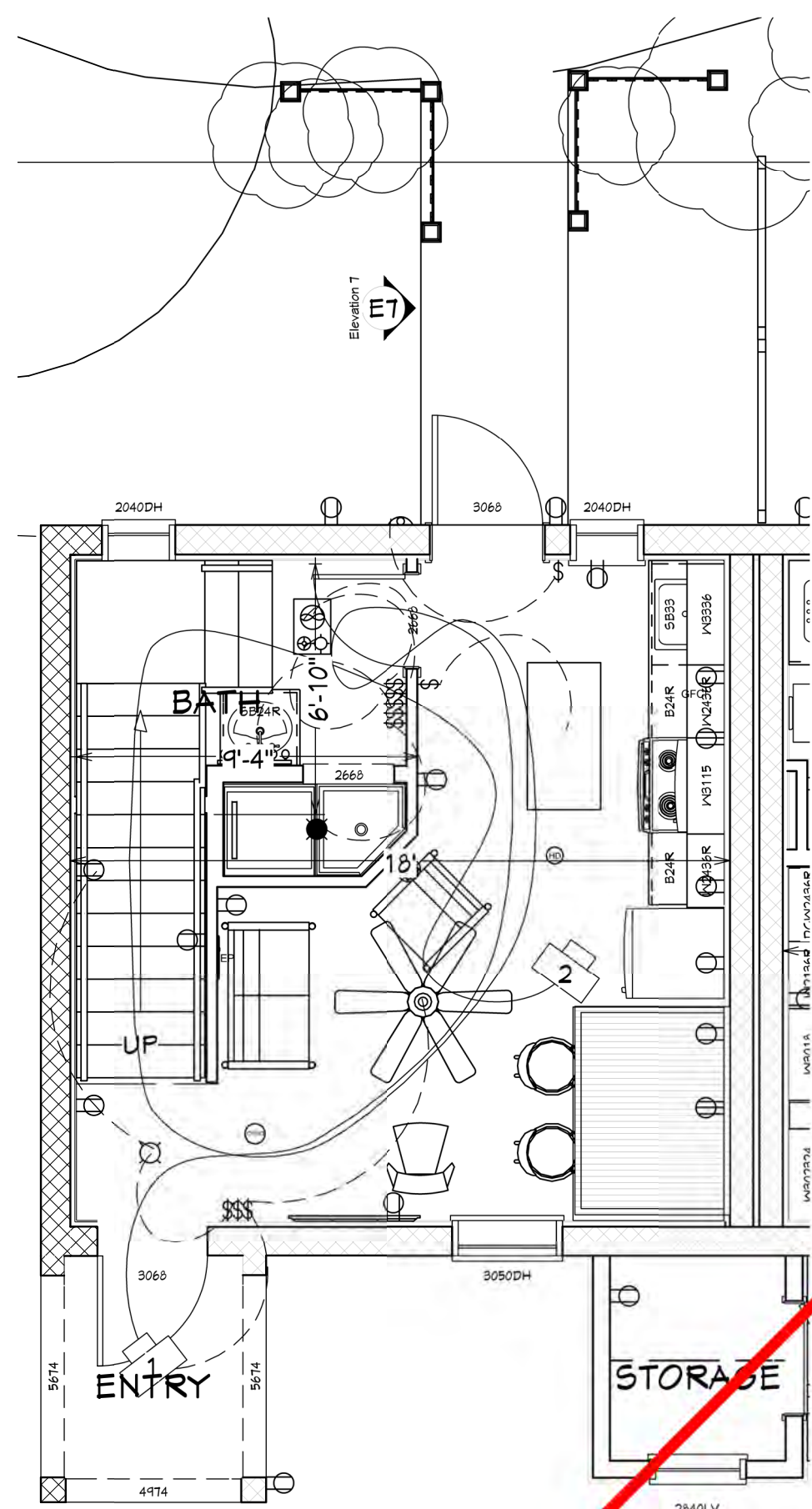


**Floor Plan:
Ground Flr.**
Scale: 1/8" = 1'-0"

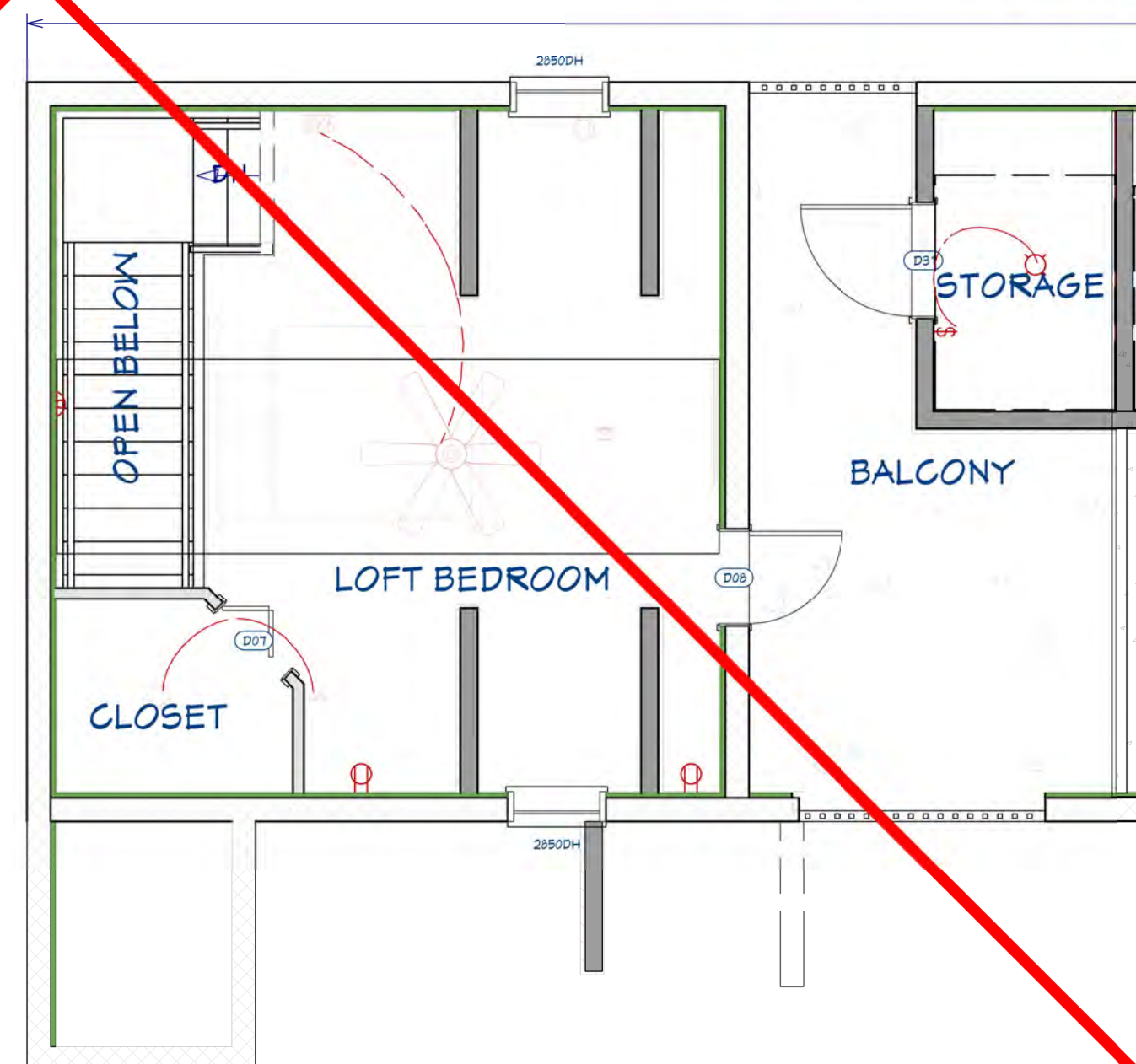


**Floor Plan: Loft
Flr.**
Scale: 1/8" = 1'-0"

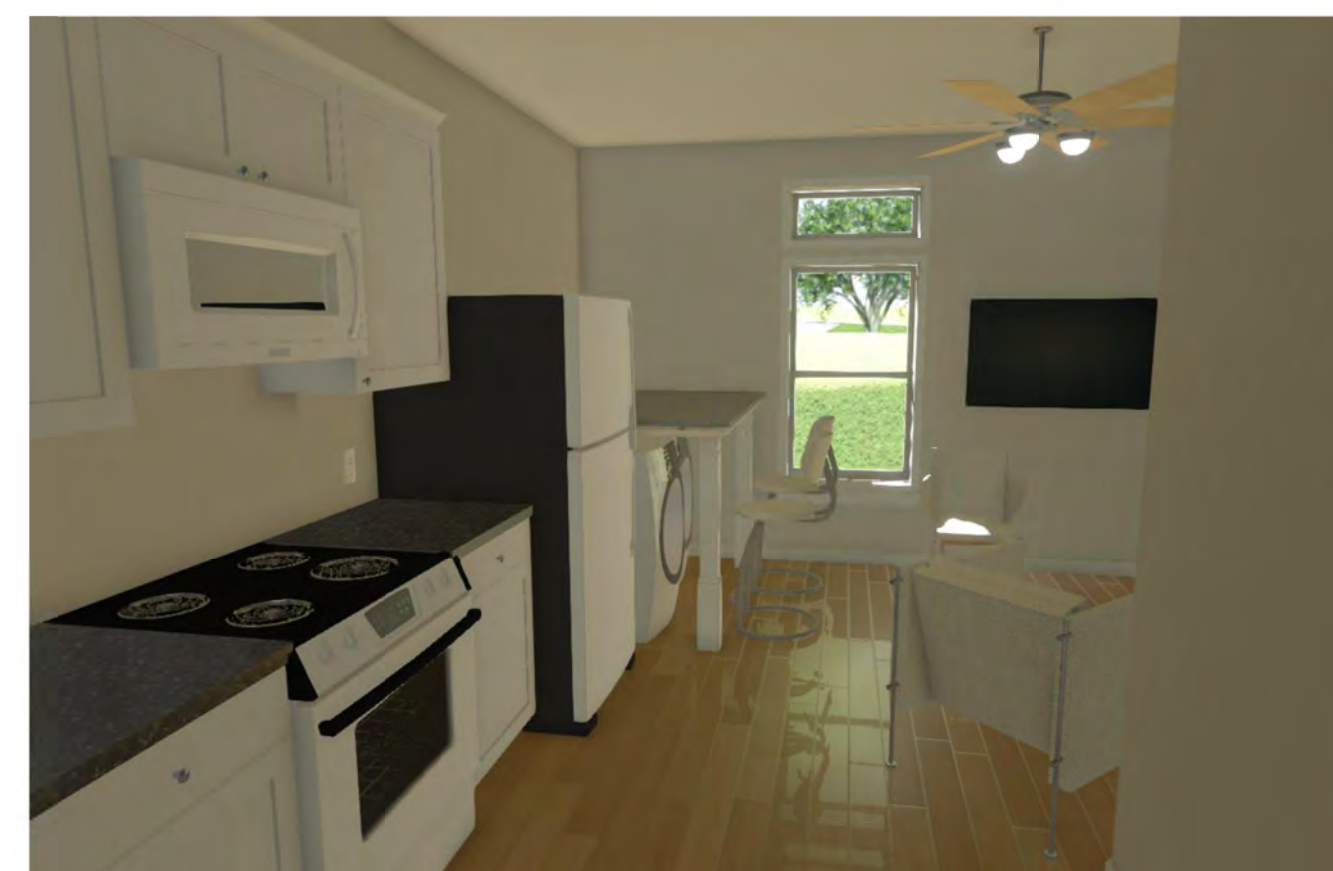
**REVISED
BUILDING
SEE A16 - A28**



**Floor Plan: Loft - unit type III
Ground Flr.**
Scale: 1/4" = 1'-0"



**Floor Plan: Loft - unit type III - Loft
Flr.**
Scale: 1/4" = 1'-0"



NUMBER	DATE	REVISION BY	DESCRIPTION



Floor Plans

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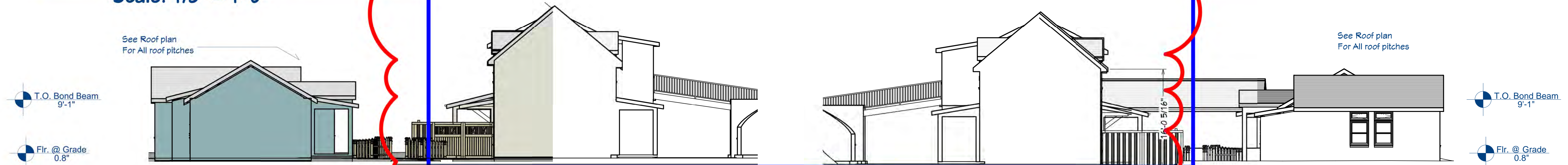
PHASE II



South Elevation:
Scale: 1/8" = 1'-0"



North Elevation:
Scale: 1/8" = 1'-0"



West Elevation:
Scale: 1/8" = 1'-0"

East Elevation:
Scale: 1/8" = 1'-0"



North Elevation 2 (20a and 20b):
Scale: 1/8" = 1'-0"



South Elevation 2 (20a and 20b):
Scale: 1/8" = 1'-0"

REVISION TABLE	
NUMBER	DATE



Proposed Building Elevations

HOUSING DEVELOPMENT MANAGEMENT
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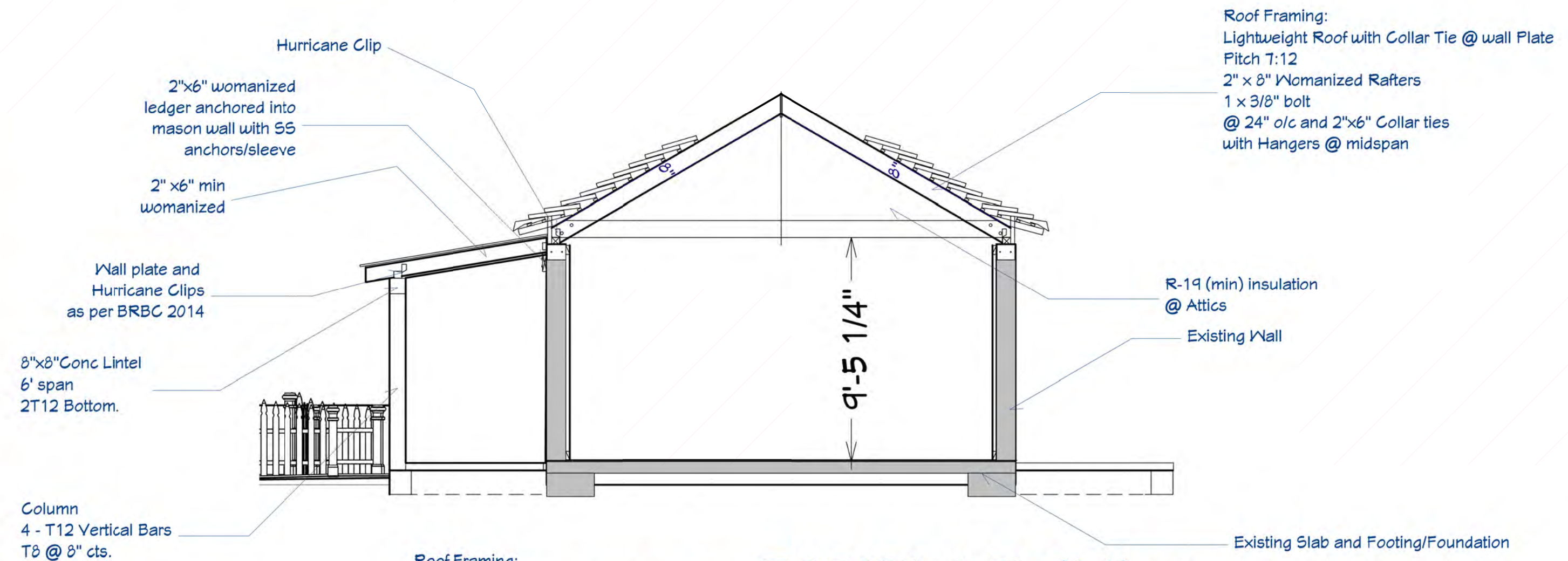
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A-9

Demo:
Remove existing roof for construction of new Roof. Inspect, and advise Owner, if walls to remain are compromised and require repair and/or replacement.

Roofing:
For SKB type finish, the TrueRoof details are attached for the Contractor to comply with the material and application specifications. If the Contractor wishes to use an alternate product, then the Contractor must provide/shop drawings/specification/ installation sheets for review and approval. In addition, the Contractor shall submit and attest (provides a guaranty) that any alternate product is equal or better.



Roof Framing:
Lightweight Roof with Collar Tie @ wall Plate Pitch 7:12
2" x 8" Womanized Rafters
1 x 3/8" bolt
@ 24" o/c and 2" x 6" Collar ties
with Hangers @ midspan

10" wall continued underside of roof

New Bond Beam
8" deep x 10" (No/W)
2T12 bars

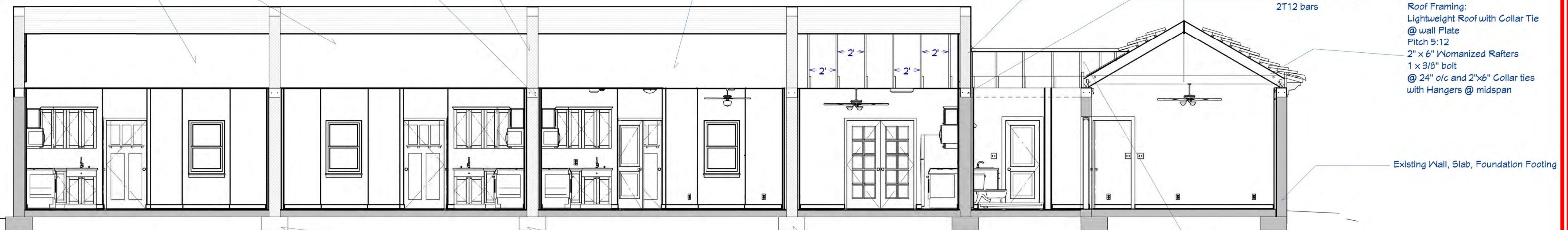
Roof Framing:
Lightweight Roof with Collar Tie @ wall Plate Pitch 7:12
2" x 8" Womanized Rafters
1 x 3/8" bolt
@ 24" o/c and 2" x 6" Collar ties
with Hangers @ midspan

E10/Ph1 Building Section:
Scale: 1/4" = 1'-0"

New Gable end
10" CMU, feathered to receive stucco Finish (Exterior)

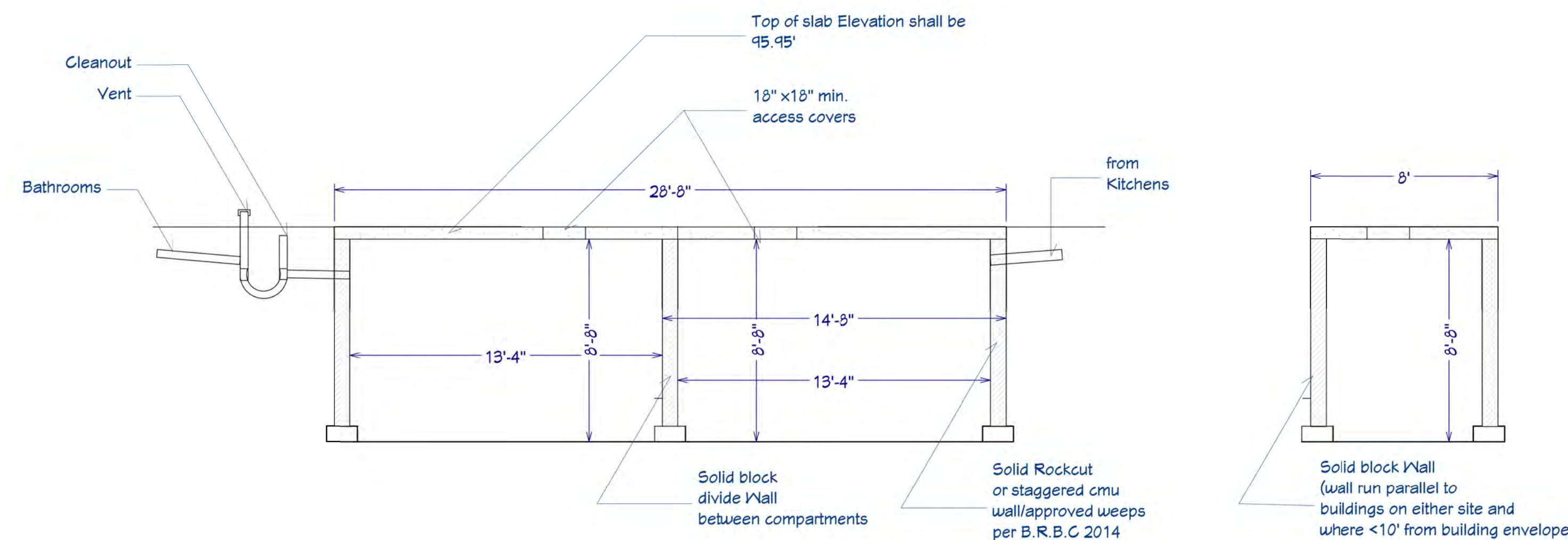
New Bond Beam
8" deep x 10" (No/W)
2T12 bars

Roof Framing:
Lightweight Roof with Collar Tie @ wall Plate Pitch 5:12
2" x 6" Womanized Rafters
1 x 3/8" bolt
@ 24" o/c and 2" x 6" Collar ties
with Hangers @ midspan

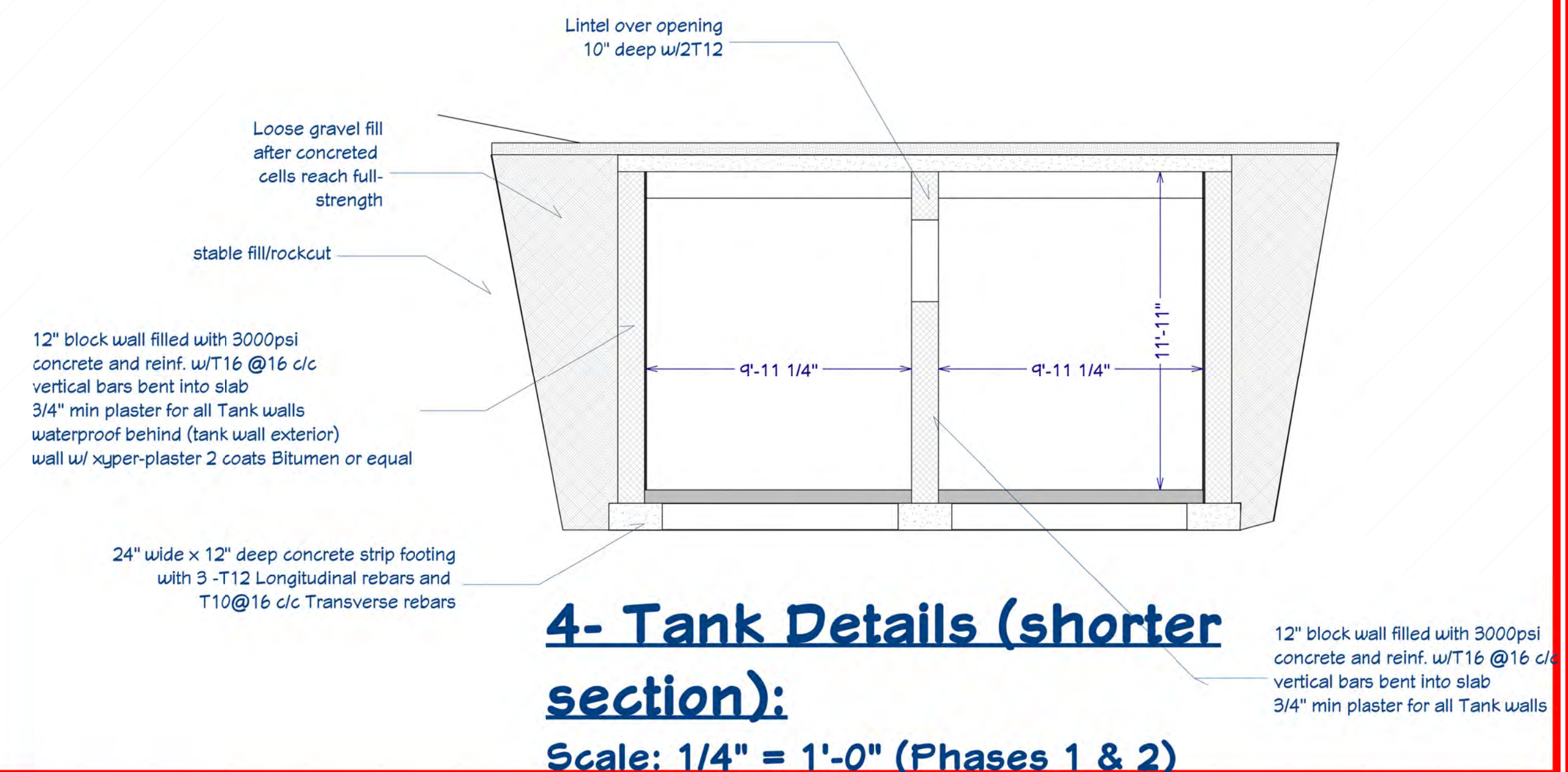


E9/Ph1 Building Section:
Scale: 1/4" = 1'-0"

PHASE 1 completed in Red



3 - Cesspits Details (west and mirror East (PH2):
Scale: 1/4" = 1'-0" (Phase 1 & 2)



4- Tank Details (shorter section):
Scale: 1/4" = 1'-0" (Phases 1 & 2)

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



Phase 1 (Building 22 a & B)
Building Sections and details

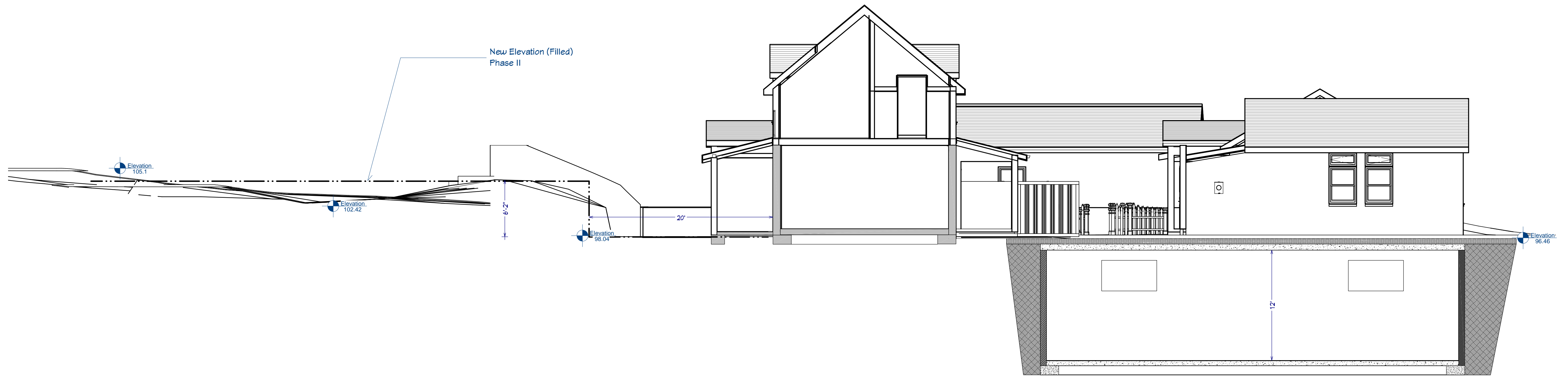
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Management

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A - Section Cross
Section:
 Scale: 3/16" = 1'-0"

REVISION TABLE	
NUMBER	DESCRIPTION



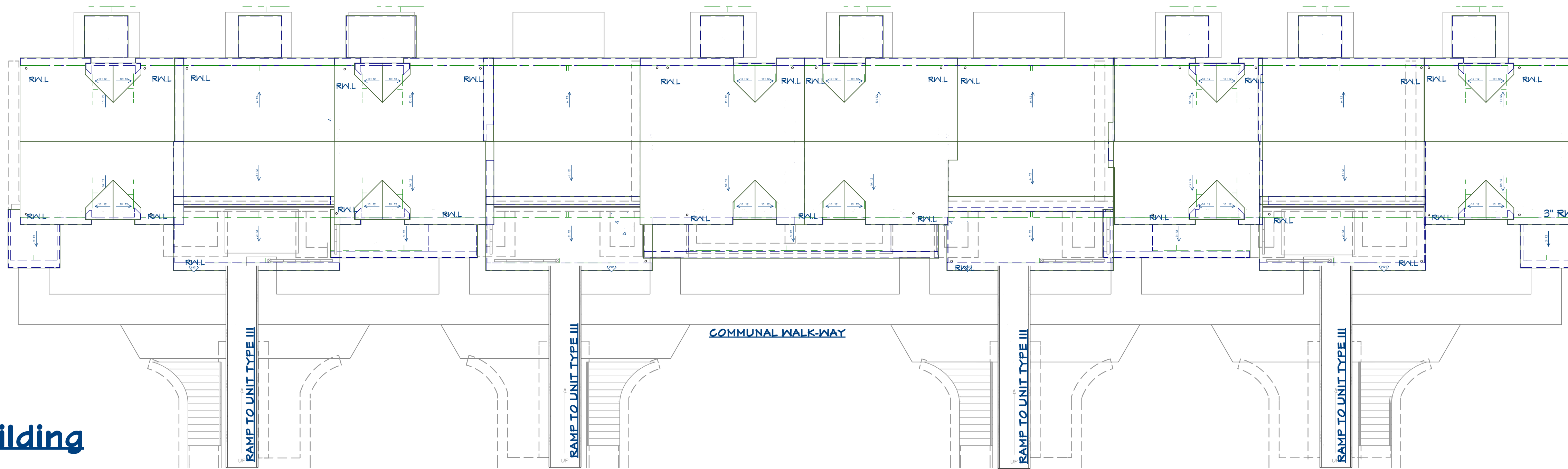
Phase 1 (Building 22 a & B)
 Cross Section

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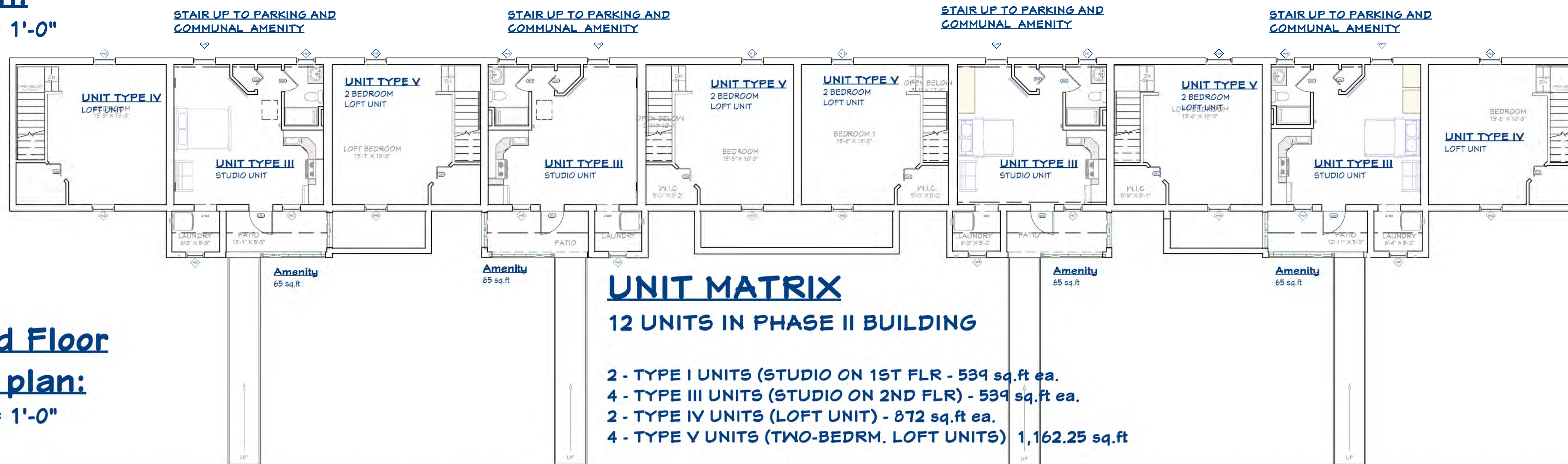
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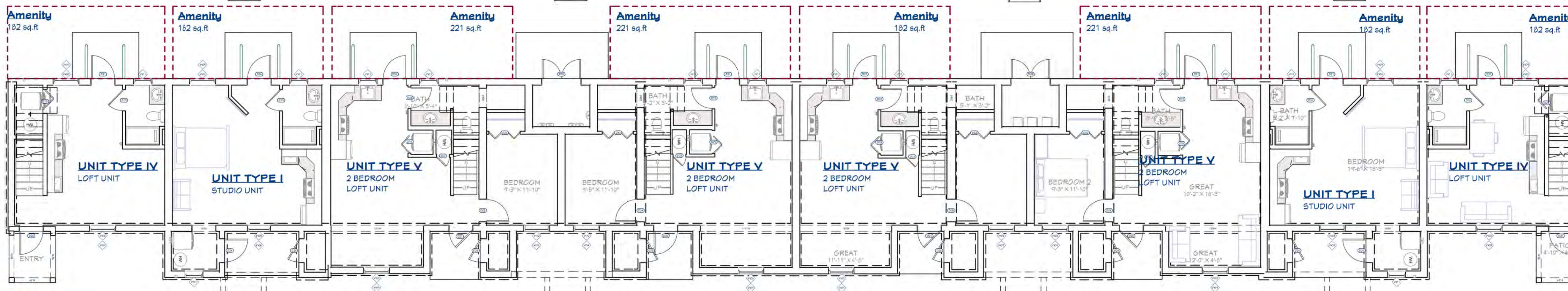
A Ph-II Building
Roof plan:
 Scale: 1/8" = 1'-0"



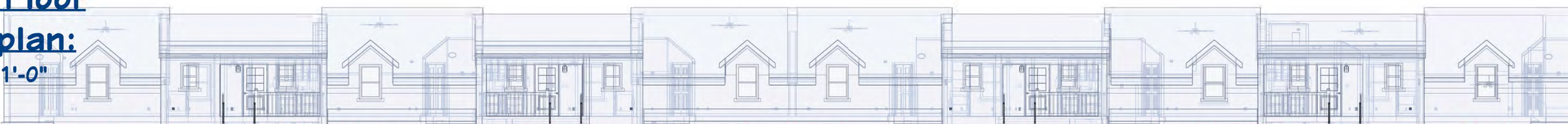
B Ph-II 2nd Floor
Building plan:
 Scale: 1/8" = 1'-0"

UNIT MATRIX
 12 UNITS IN PHASE II BUILDING

- 2 - TYPE I UNITS (STUDIO ON 1ST FLR - 539 sq.ft ea.
- 4 - TYPE III UNITS (STUDIO ON 2ND FLR) - 539 sq.ft ea.
- 2 - TYPE IV UNITS (LOFT UNIT) - 872 sq.ft ea.
- 4 - TYPE V UNITS (TWO-BEDRM. LOFT UNITS) 1,162.25 sq.ft



C Ph-II 1st Floor
Building plan:
 Scale: 1/8" = 1'-0"



NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



Phase II (Building 18)
 Building Plan unit Matrix

Drawings provided by:
 Housing Development Management

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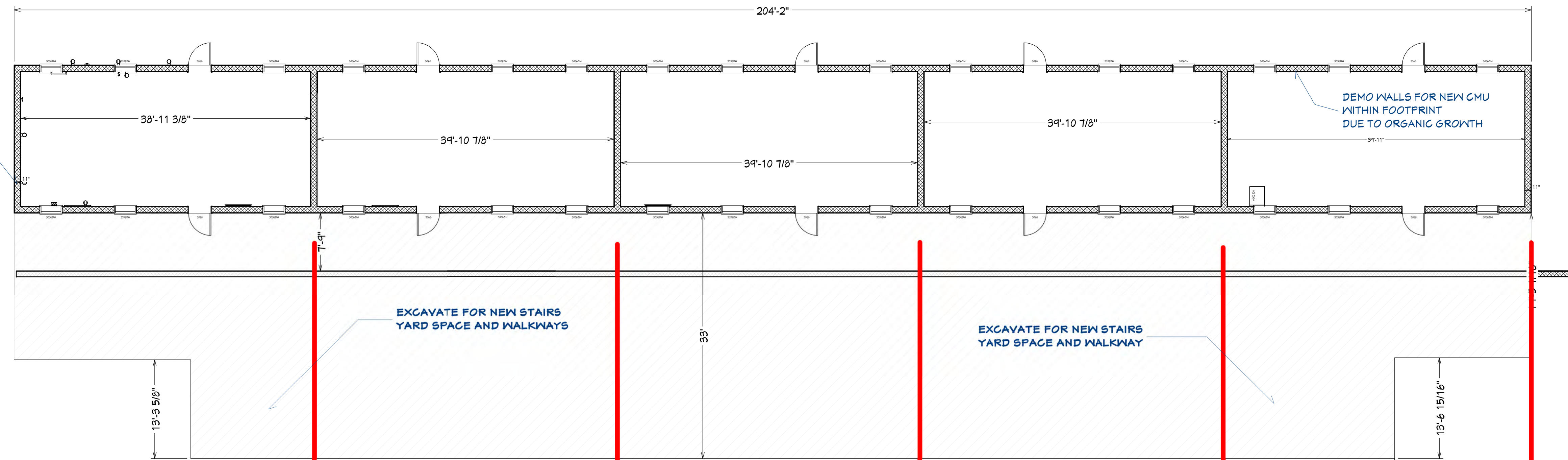
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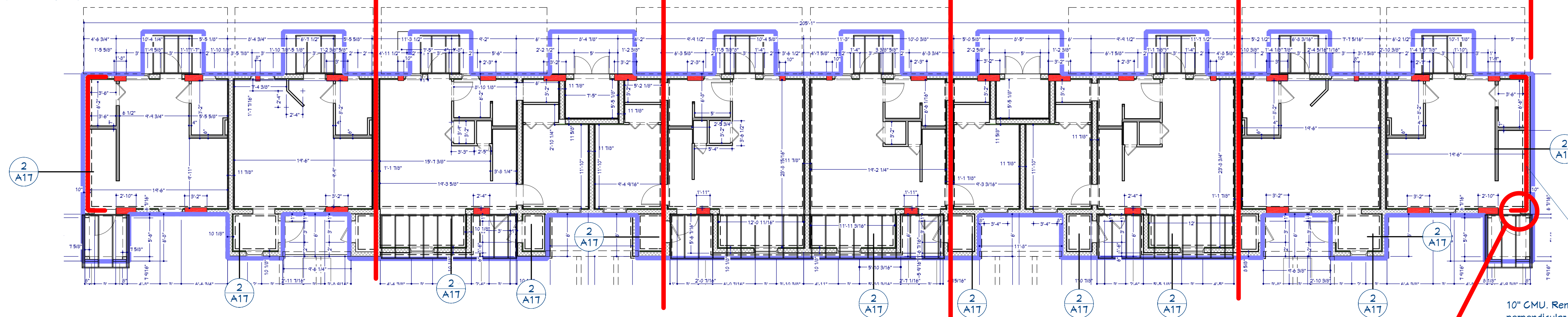
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A-16

GABLE ENDS COMPROMISED
demolish and rebuild gable ends
8" CMU. Remove 32" ends of perpendicular walls and rebuilt using 8" CMU see details

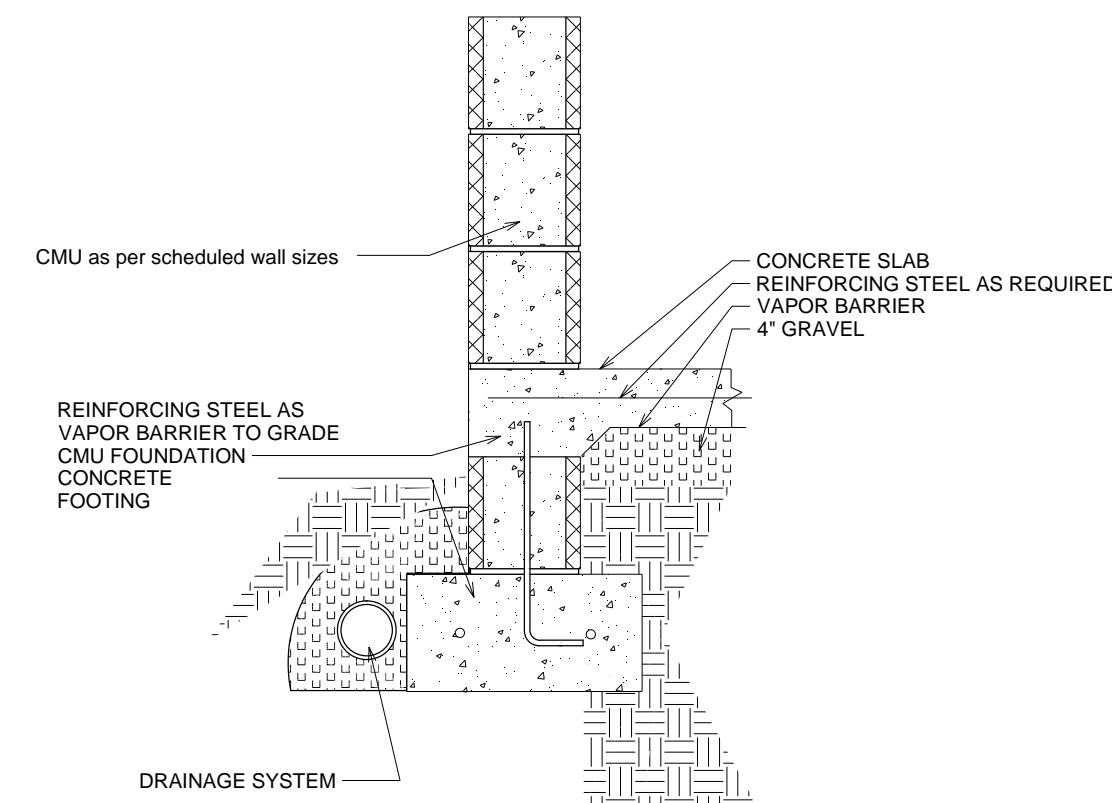


A Ph-II Existing building plan (demo):
Scale: 1/8" = 1'-0"

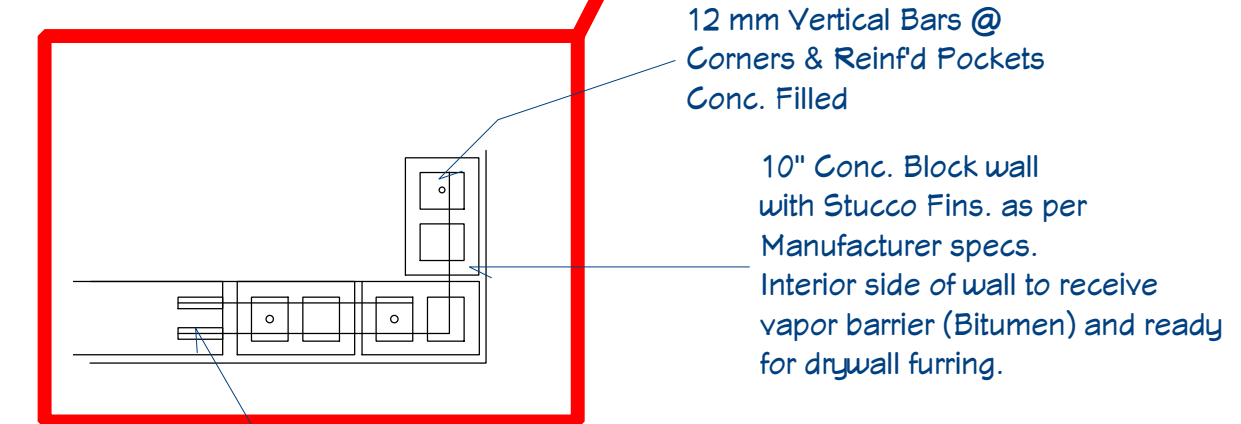


B Ph-II Building plan Ref. (Reno plan notes):
Scale: 1/8" = 1'-0"
Not required if all exterior walls are required to be removed due to organic growth.

2 Foundation for new walls (as required):
Scale: 1" = 1'-0"



10" CMU. Remove 32" ends of perpendicular walls and rebuilt using 10" CMU see details



Drill 2 x 1 1/4" dia x 6" deep holes into existing wall and grout 2 T20 x 3 long bars ("Rockite") - if existing belt and Key 4" Deep into existing wall shall be achieved every 2nd course of block.

1 Corner Detail Block wall to existing walls (limestone etc.):
Scale: 1/2" = 1'-0"

NUMBER	DATE	REVISION BY	DESCRIPTION



Phase II (Building 18)
Building Demo and Reno
Plan

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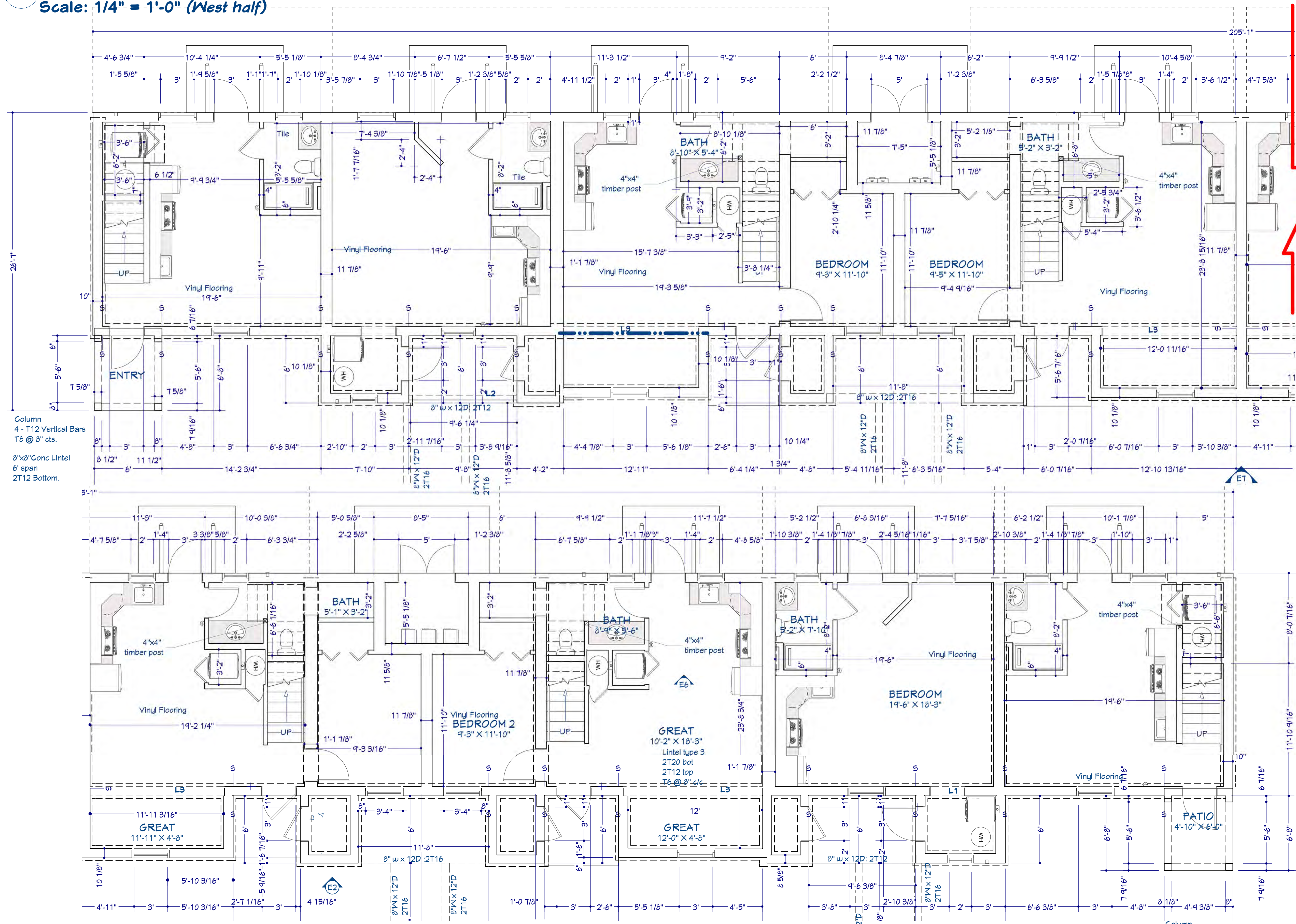
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A-17

A Ph-II Building Dimensioned plan:

Scale: 1/4" = 1'-0" (West half)



Tenant separation walls (typ.) can be at a min. 10" wall continuous to roof w/ 5/8" Fire-rated drywall. 2" furring and insulated ea. side (run electrical on face of block wall wall shall sit on on (existing and new) 2"D x 24"W footing as per structural or code.

WALLS:
Masonry Walls shall be 8" CMU

Tenant separation walls shall be 10" with 2" furring/framing under 5/8" Fire Rated Drywall taped, mudded and smooth finished each side.

Exterior Walls (CMU) Shall be sealed (waterproofed) 2" metal furring w/ insulation (spray foam/rigid/M.R) under 1/2" Moisture/ Mold Resistant Drywall

See plan for 4" or 6" interior framing.
Note: Metal (mtl) framing is preferred

LINTELS:
All windows and doors L1 Standard: match width of wall: 8" x 10" reinf. 3 T12 bottom

Lintel type 3 - L2
2T20 bot
2T12 top
T6 @ 5" c/c
10'-0" span / 10" lintel depth

Lintel type 3 - L3
2T20 bot
2T12 top
T6 @ 8" c/c
12'-0" span / 16" lintel depth

8"x8" Conc Lintel
6' span
2T12 Bottom.

B Ph-II Building Dimensioned plan:

Scale: 1/4" = 1'-0" (East half)

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION



**Phase II (Building 18)
Building Dimensioned Plan
1st Flr**

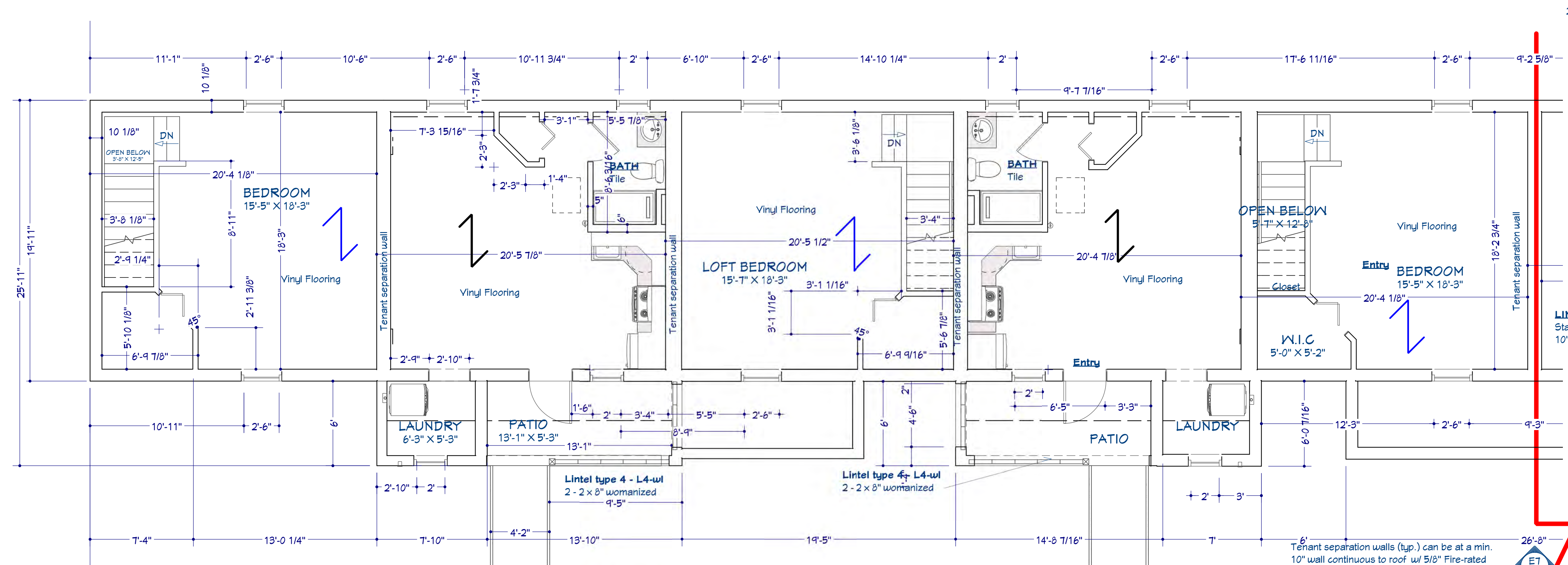
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Management

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A-18



204'-2" (LENGTH OF BUILDING)

WALLS:
Masonry Walls shall be <10" to match existing

Tenant separation walls shall be 10" with 2" furring/framing under 5/8" Fire Rated Drywall taped, mudded and smooth finished each side.

Exterior Walls (Mason or BDA Stone) Shall be sealed (waterproofed) the 2" furring/framing under 1/2" Moisture/ Mold Resistant Drywall

See plan for 4" or 6" interior framing.
Note: Metal (mtl) framing is preferred barring material availability. Verify with Owner

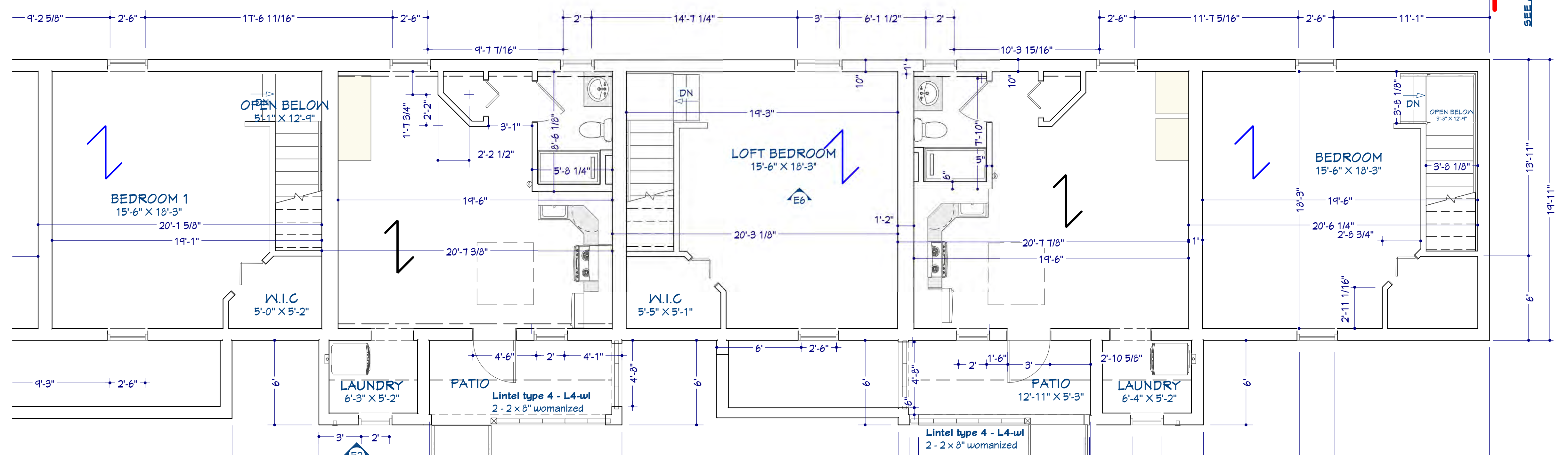
LINTELS:
Standard: match width of wall:
10" = 8" x 10" reinf. 3 T12 bottom

FLOOR SPAN SYMBOL:
2" x 10" Joist @ 12" o.c.
Set in joist hangers

FLOOR SPAN SYMBOL:
8" Conc. reinforced slab
T16 @ 6" o.c.

Tenant separation walls (typ.) can be at a min. 10" wall continuous to roof w/ 5/8" Fire-rated drywall. 2" furring and insulated ea. side (run electrical on face of block wall wall shall sit on 12"D x 24"N footing as per structural or code.

A Building A (18 Battery Rd) Ground Floor Dimensioned Floor plan
Scale: 1/4" = 1'-0"



LINTELS:
All windows and doors L1
Standard: match width of wall:
10" = 8" x 10" reinf. 3 T12 bottom

Lintel type 3 - L2
2T20 bot
2T12 top
T6 @ 5" c/c
10'-0" span / 10" lintel depth

Lintel type 3 - L3
2T20 bot
2T12 top
T6 @ 8" c/c
12'-0" span / 16" lintel depth

B Building A (18 Battery Rd) Ground Floor Dimensioned Floor plan
Scale: 1/4" = 1'-0"

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION



Phase II (Building 18)
Building Dimensioned Plan
2nd Flr

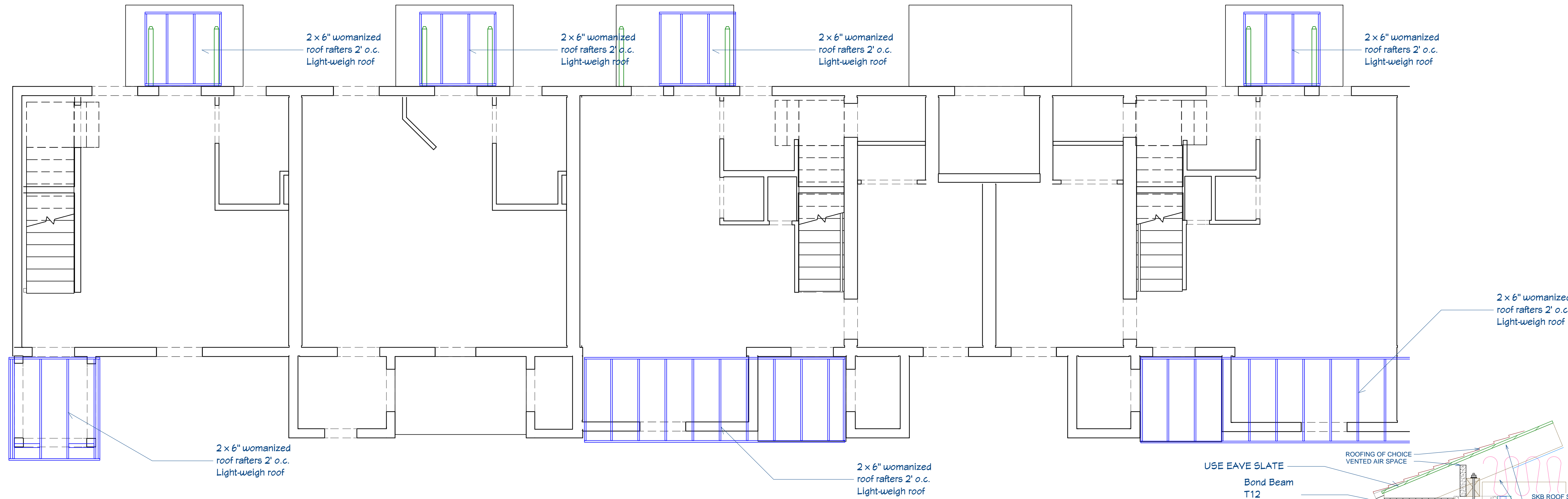
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Management

DATE:
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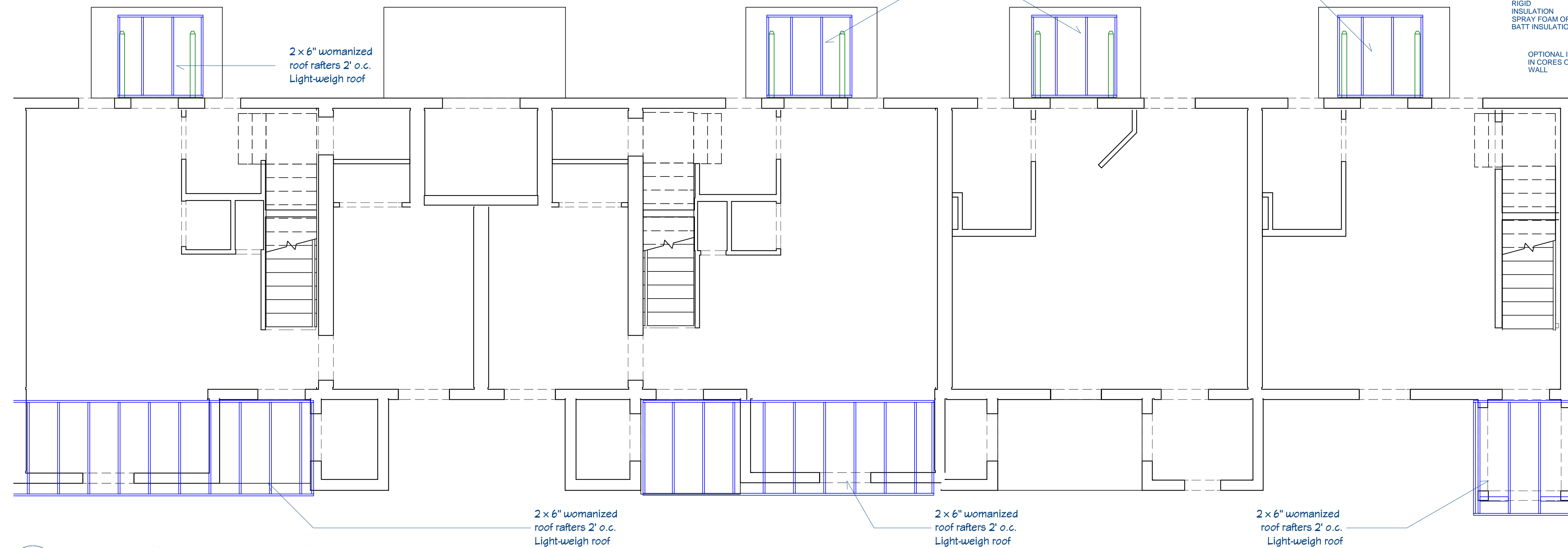
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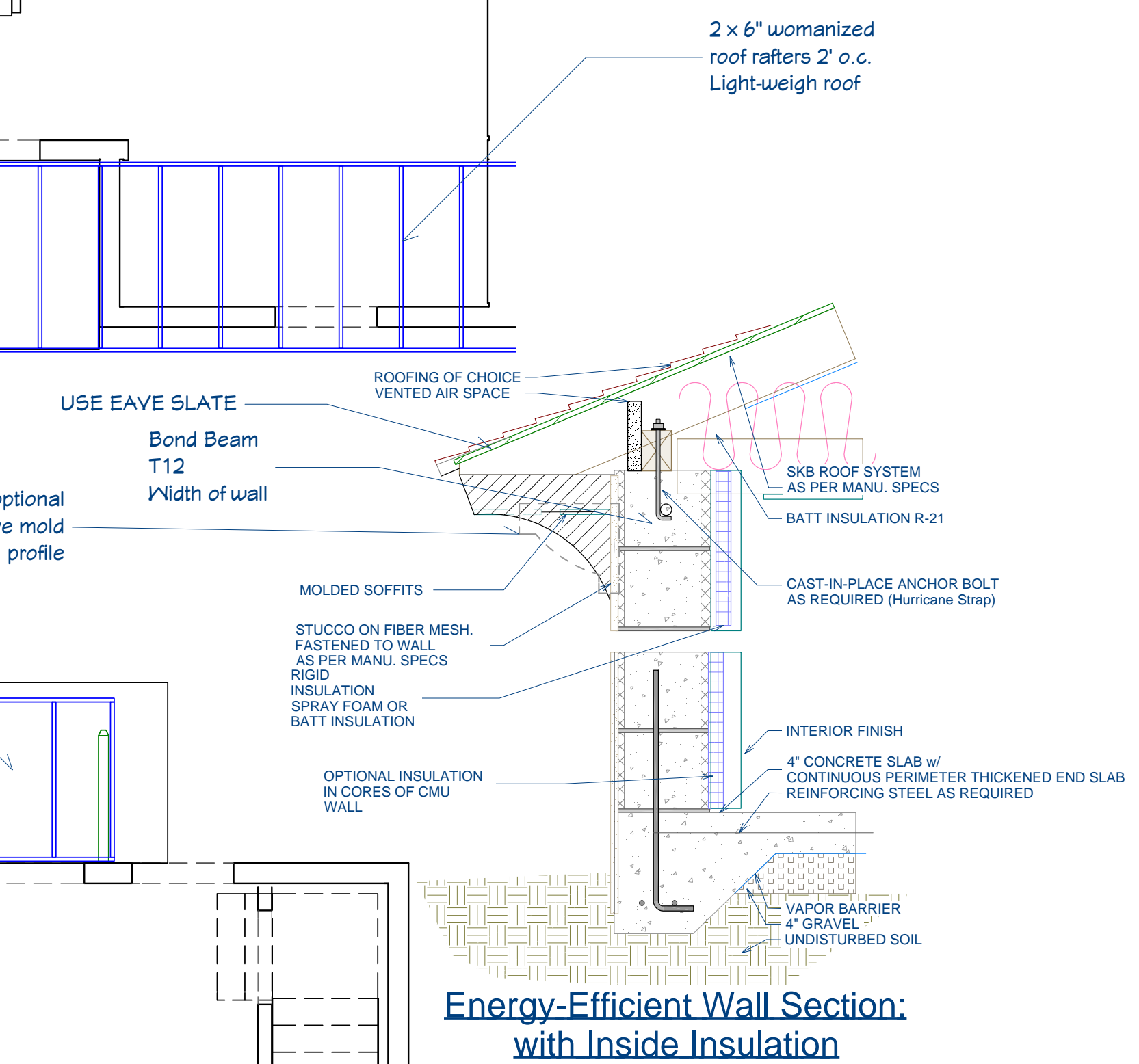
A-19



A Phase II (18 Battery Rd) Roof Framing plan
 Scale: 1/4" = 1'-0"
 West end (lower Roof)



B Phase II (18 Battery Rd) Roof Framing plan
 Scale: 1/4" = 1'-0"
 East end (lower Roof)



Energy-Efficient Wall Section:
 with Inside Insulation

REVISION TABLE	
NUMBER	DATE



Phase II (Building 18)
 Building Roof Framing Plan
 (lower)

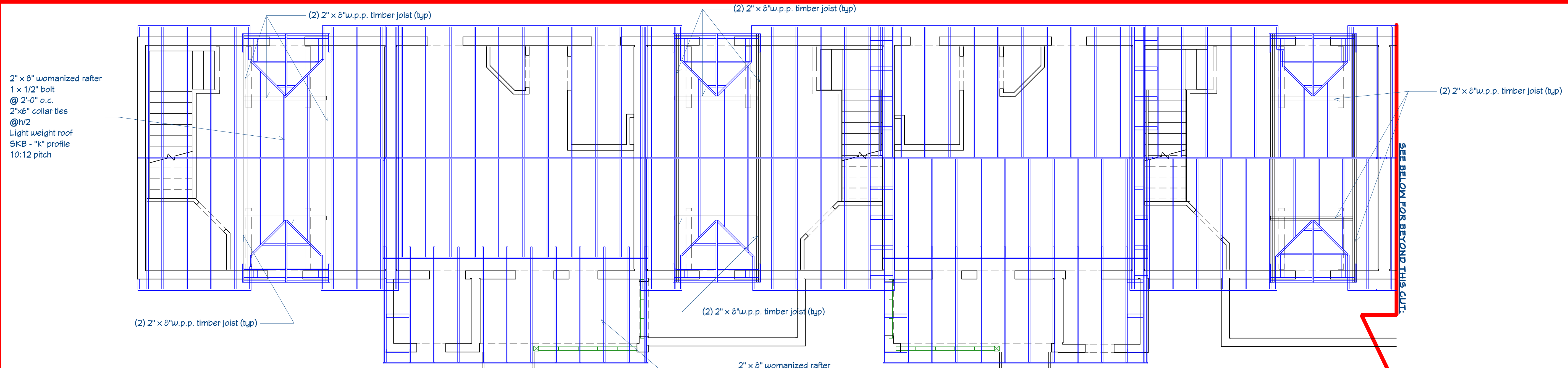
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DATE:
 4/15/2024

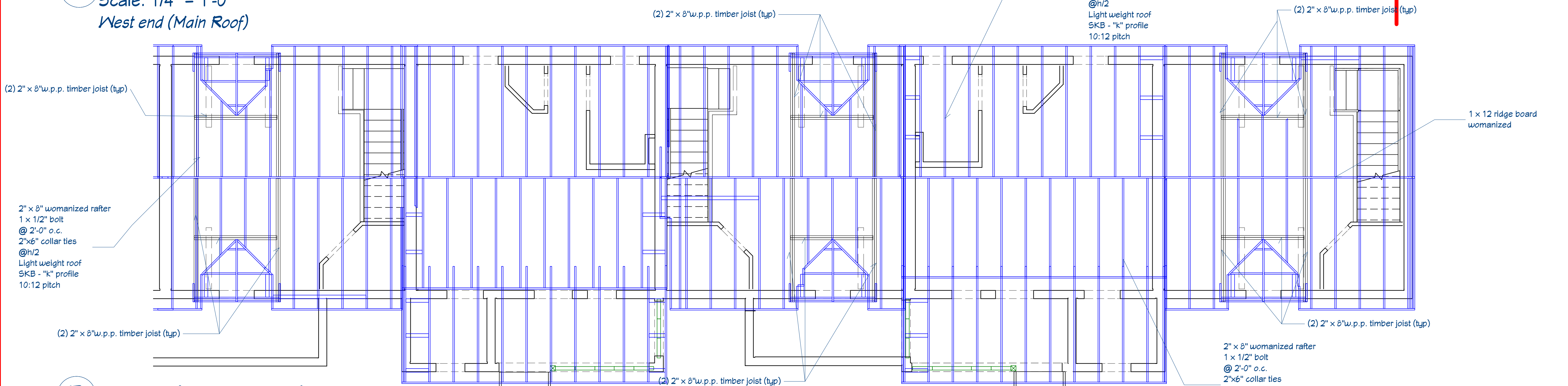
SCALE:

SHEET:

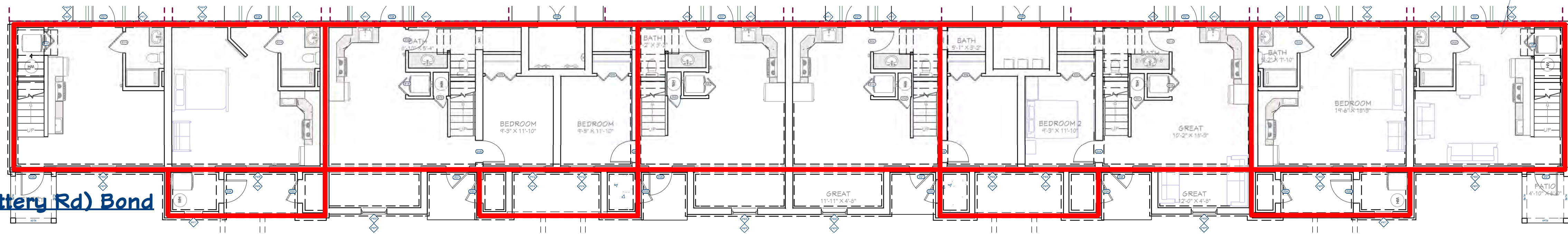
A-20



A Phase II (18 Battery Rd) Roof Framing plan
 Scale: 1/4" = 1'-0"
 West end (Main Roof)



B Phase II (18 Battery Rd) Roof Framing plan
 Scale: 1/4" = 1'-0"
 East end (Main Roof)



C Phase II (18 Battery Rd) Bond beam plan
 Scale: 1/8" = 1'-0"

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



Phase II (Building 18)
 Building Roof Framing Plan
 (main)

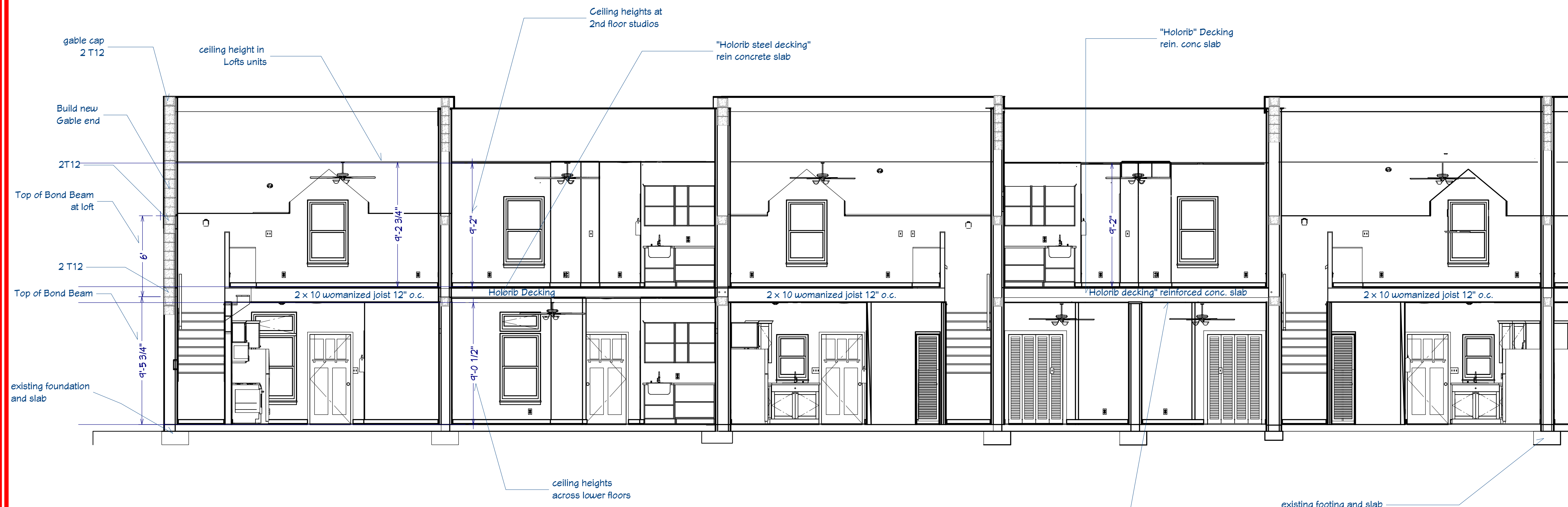
Drawings provided by:
 Housing Development Management

DATE:
 4/15/2024

SCALE:

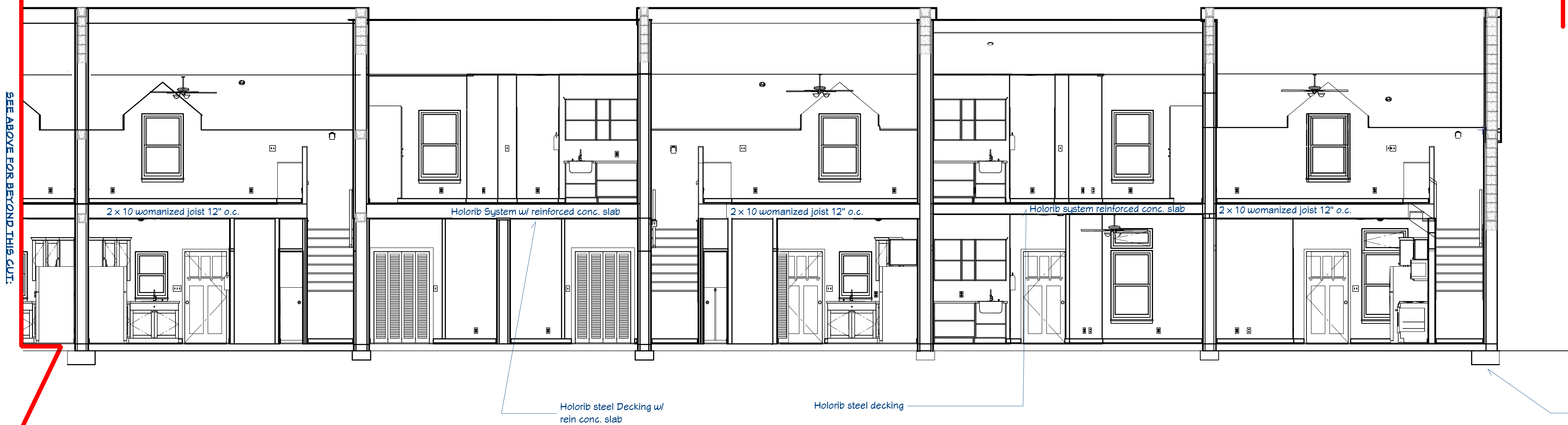
SHEET:

A-21



A Building Section (18 Battery Rd)
 Scale: 1/4" = 1'-0" (East End)

SEE BELOW FOR BEYOND THIS CUT.



B Building Section (18 Battery Rd)
 Scale: 1/4" = 1'-0" (East End)

SEE ABOVE FOR BEYOND THIS CUT.

REVISION TABLE	
NUMBER	DATE



**Phase II (Building 18)
 Building Sections**

DRAWINGS PROVIDED BY:

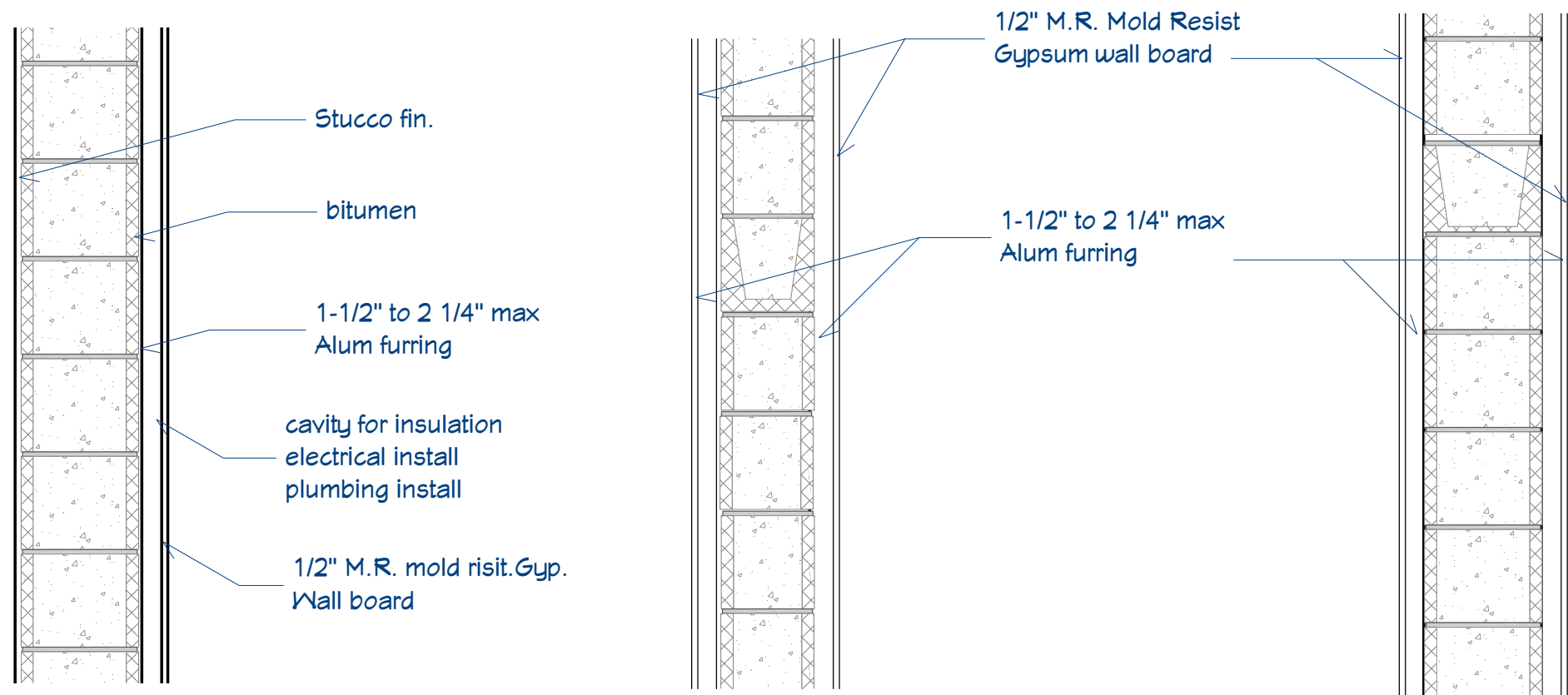
DATE:

4/15/2024

SCALE:

SHEET:

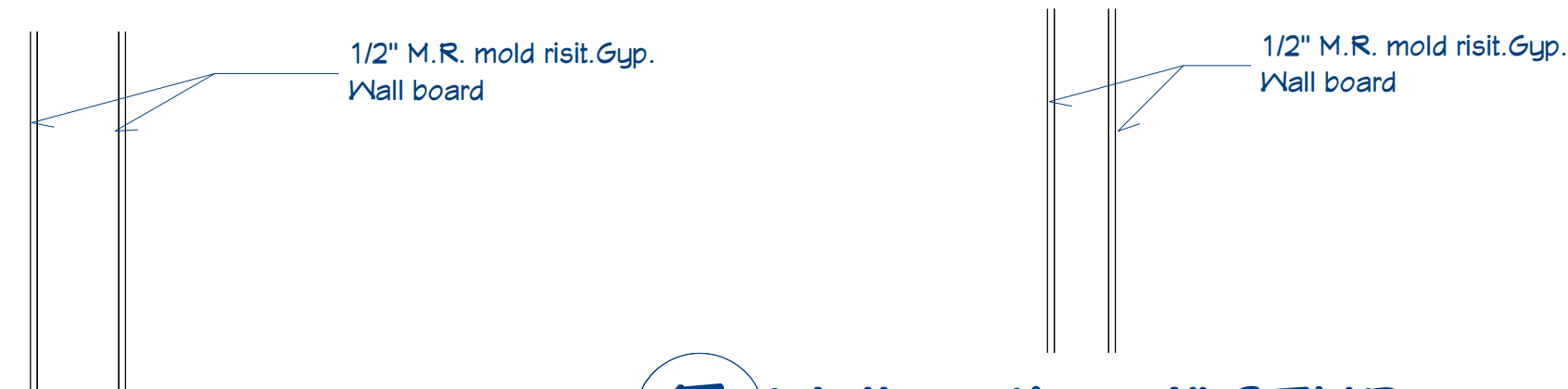
A-22



A Wall section (CMU)
Scale: 1" = 1'-0"
(exterior walls)

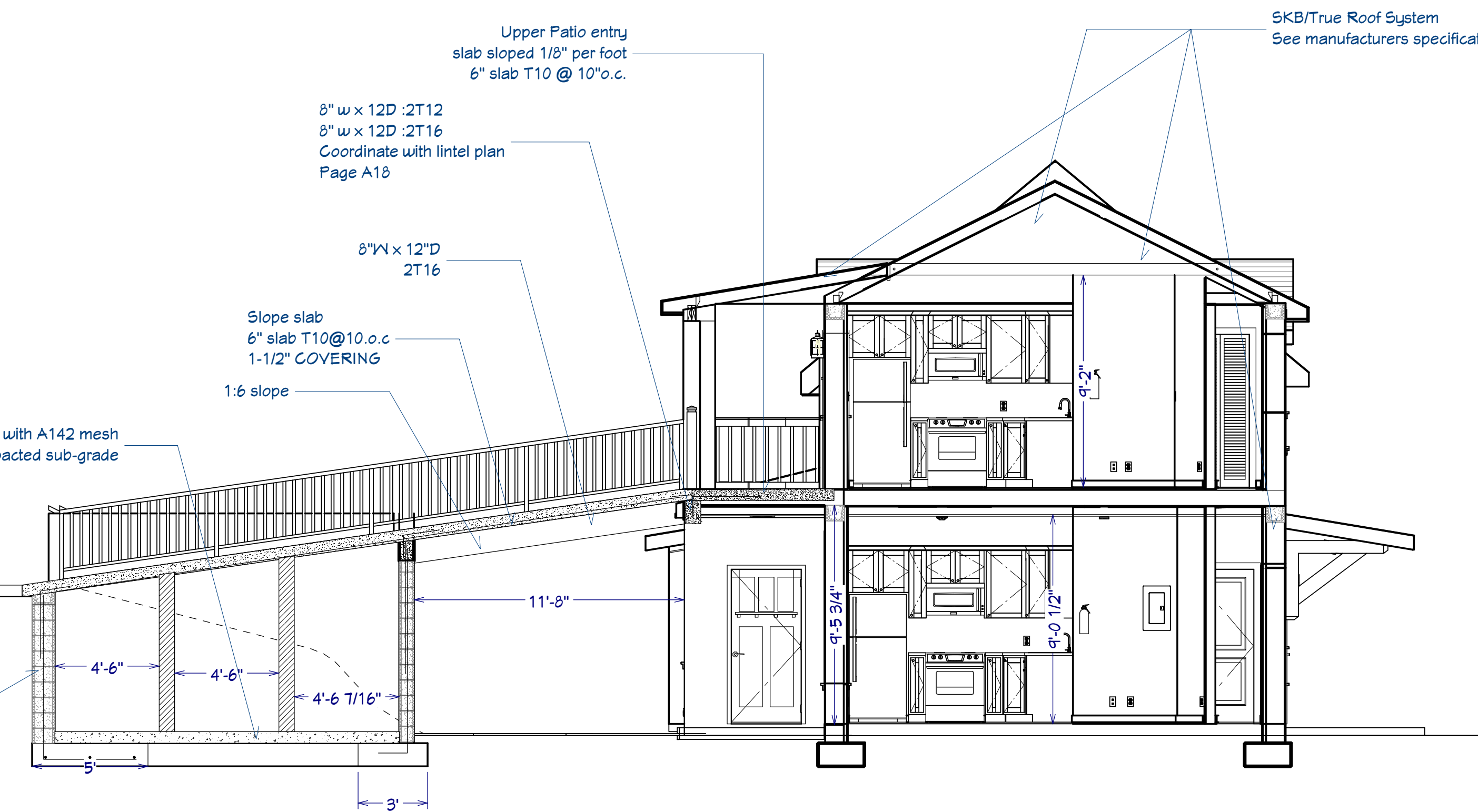
B Wall section (CMU)
Scale: 1" = 1'-0"
(interior walls)

C Wall section CMU
Scale: 1" = 1'-0"
(interior walls)

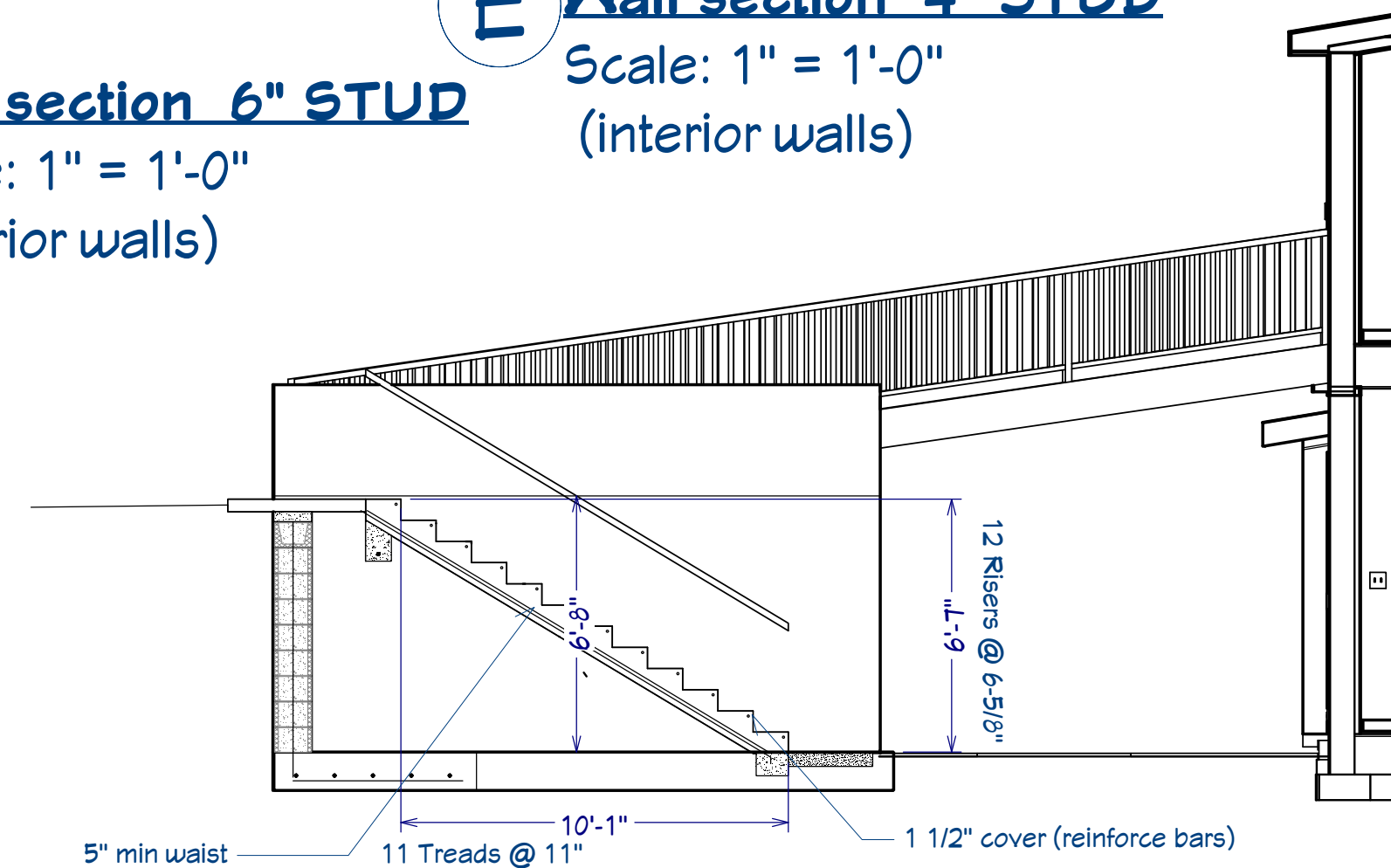


D Wall section 6" STUD
Scale: 1" = 1'-0"
(interior walls)

E Wall section 4" STUD
Scale: 1" = 1'-0"
(interior walls)

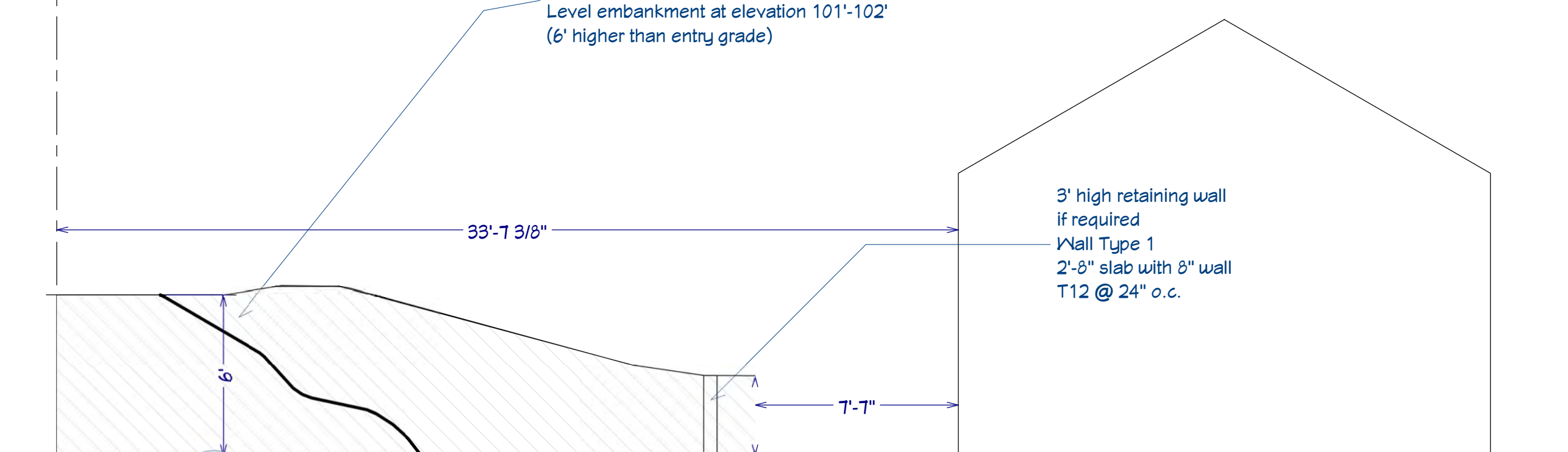


F Building Section (18 Battery Rd Ramp) Typ.
Scale: 1/4" = 1'-0"
see Pg A18 for lintel beams size at patios

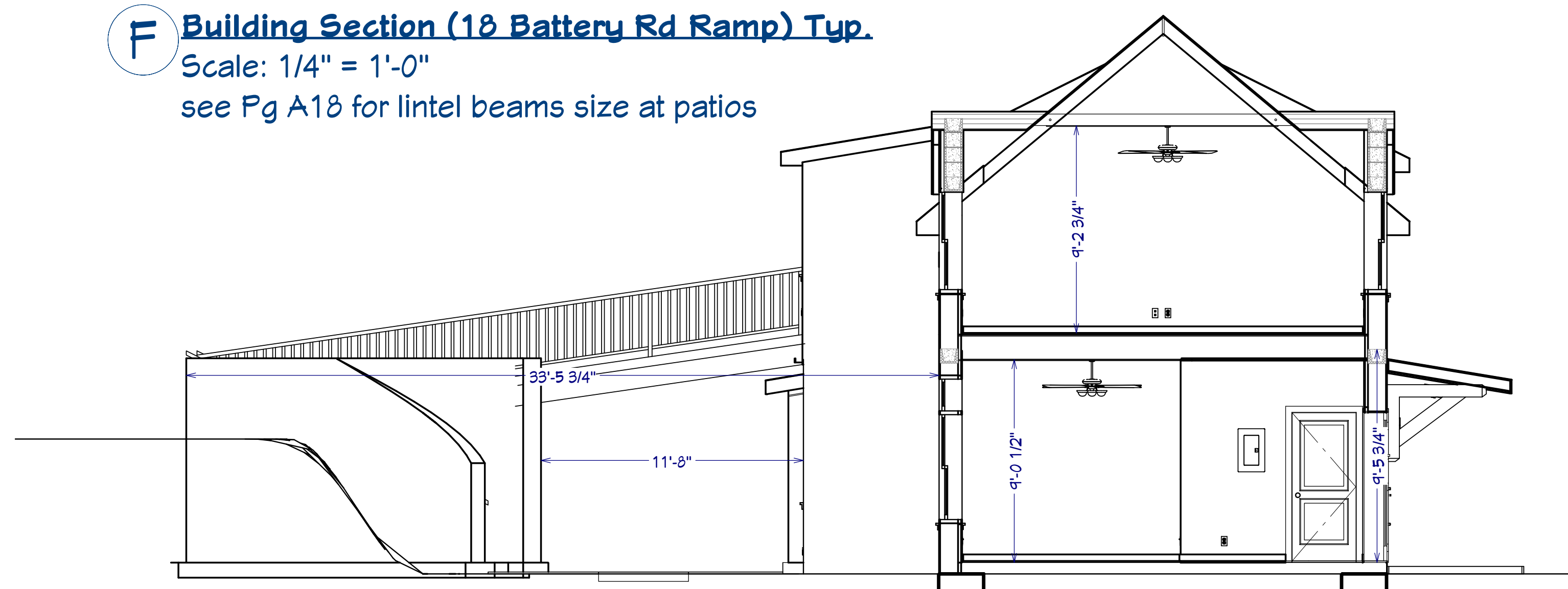


G Exterior CONC. Stair Section (18 Battery Rd)
Scale: 1/4" = 1'-0" (Typical)

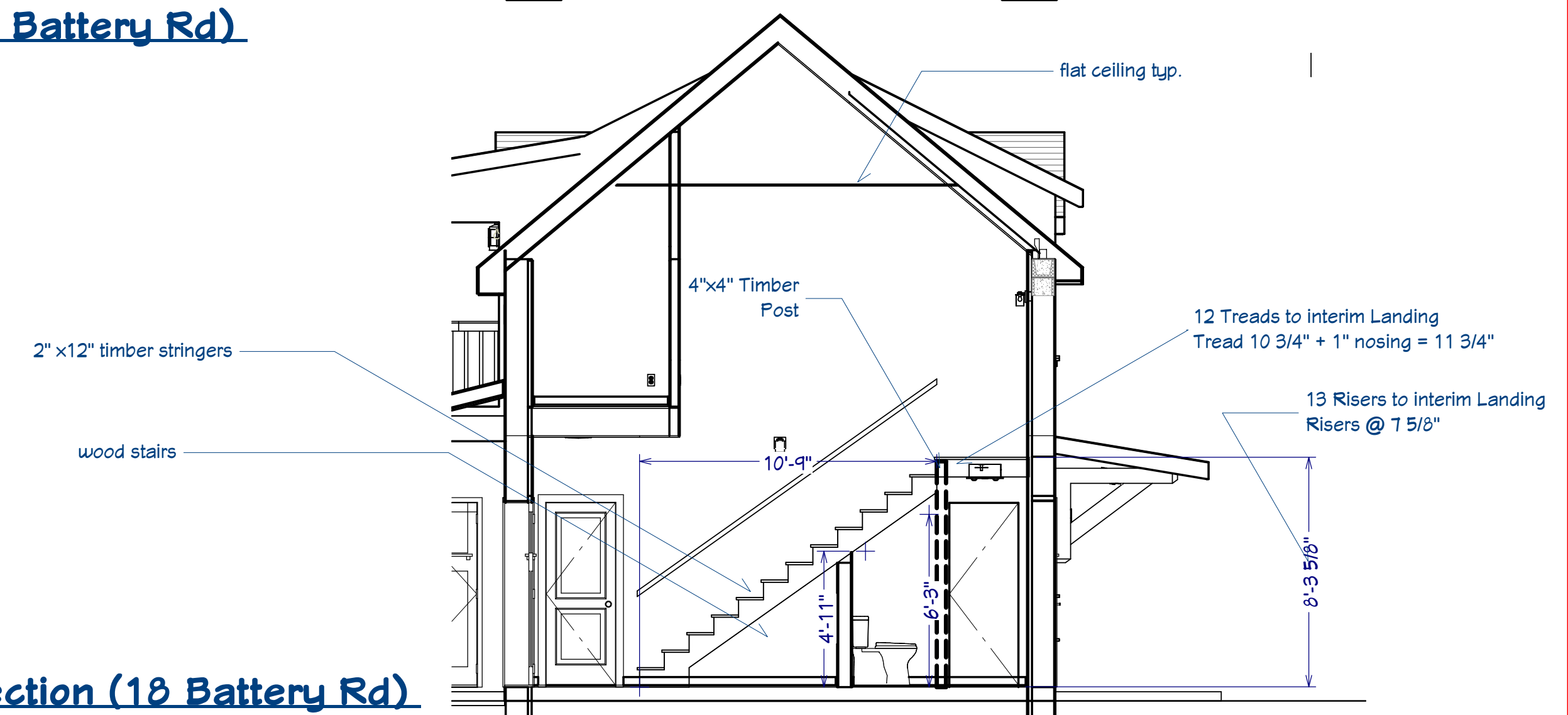
Excavate for lower yard, stairs and ramp - redistribute earth to Level embankment at elevation 101'-102" (6' higher than entry grade)



J Building Section (18 Battery Rd) Excavation and bank stabilization
Scale: 1/4" = 1'-0"



H Building Section (18 Battery Rd)
Scale: 1/4" = 1'-0"



K Building Section (18 Battery Rd)
Scale: 1/4" = 1'-0" (Water closet beneath stairs)

REVISION TABLE	
NUMBER	DATE



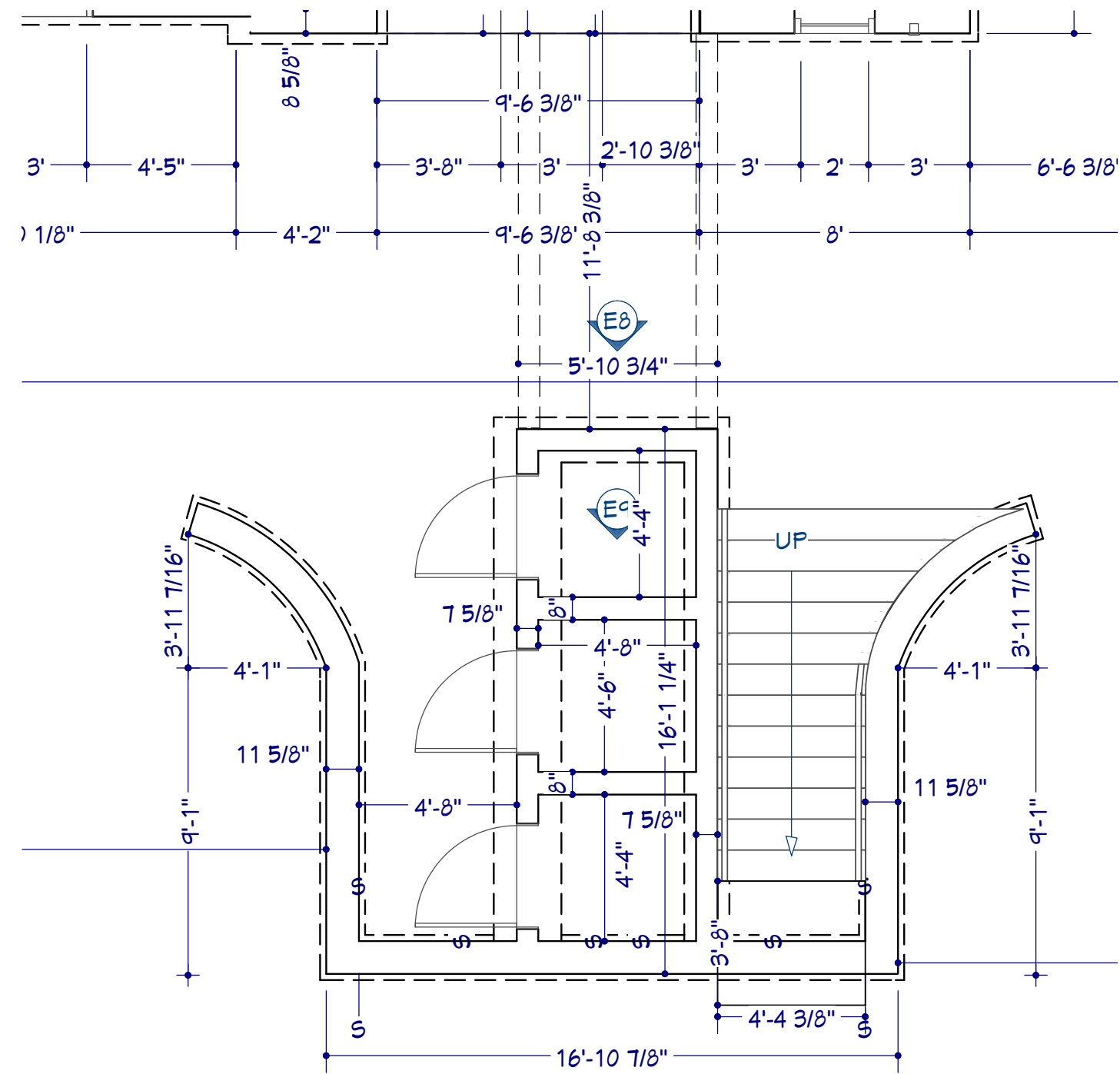
Phase II (Building 18)
Building Sections and
Details

Drawings provided by:
Housing Development
Management

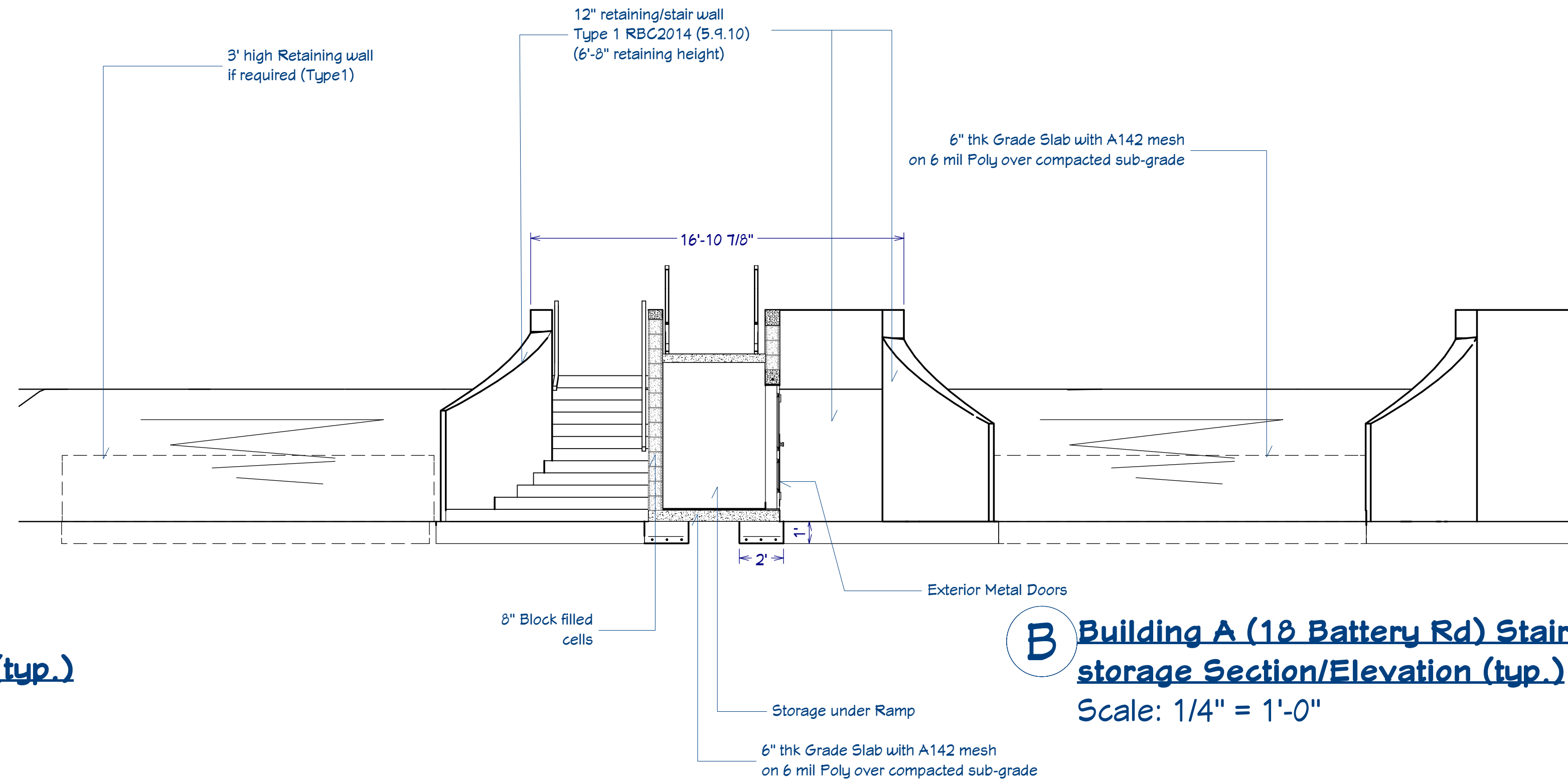
DATE:
4/15/2024

SCALE:

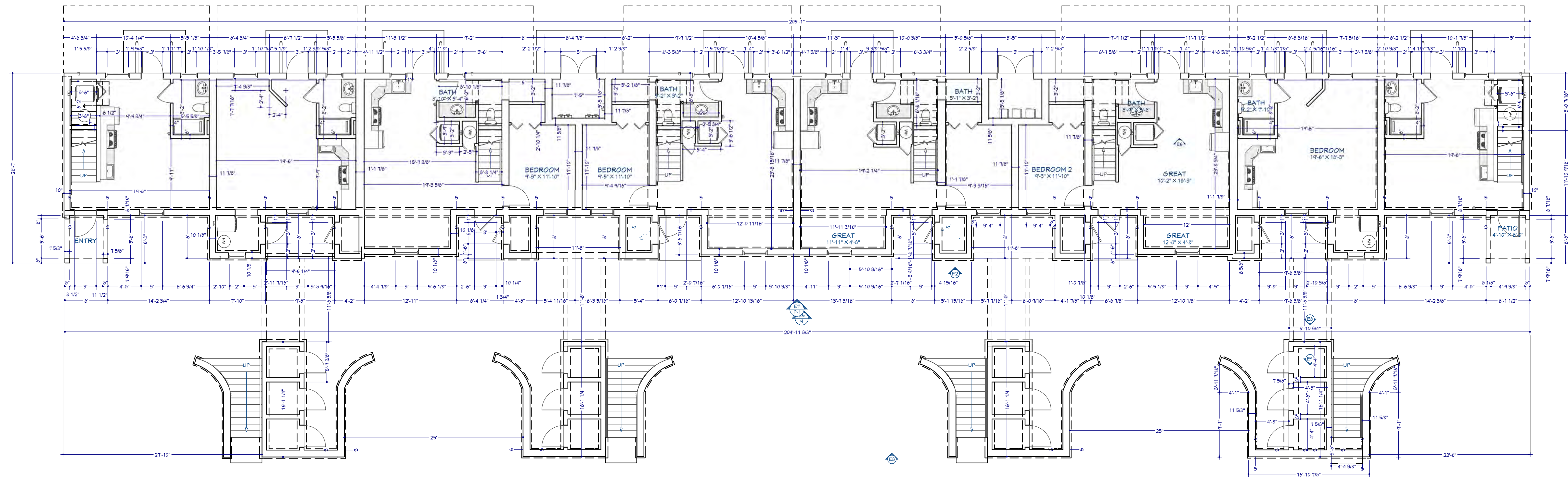
SHEET:
A-23



A Building A (18 Battery Rd) Floor plan Stair and storage (typ.)
Scale: 1/4" = 1'-0"



B Building A (18 Battery Rd) Stairs/ storage Section/Elevation (typ.)
Scale: 1/4" = 1'-0"



B Building A (18 Battery Rd) Exterior Stair Reference plan
Scale: 1/4" = 1'-0"

NUMBER	DATE	REVISION	DESCRIPTION



Phase II (Building 18)
Building Sections and
Details

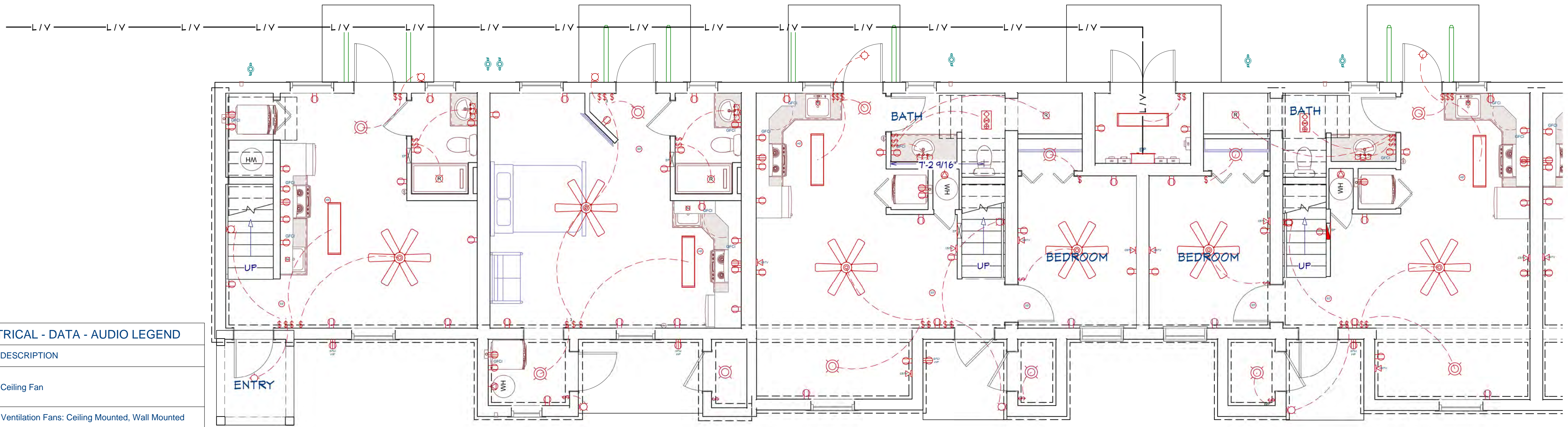
Drawings provided by:
Housing Development
Management

DATE:
4/15/2024

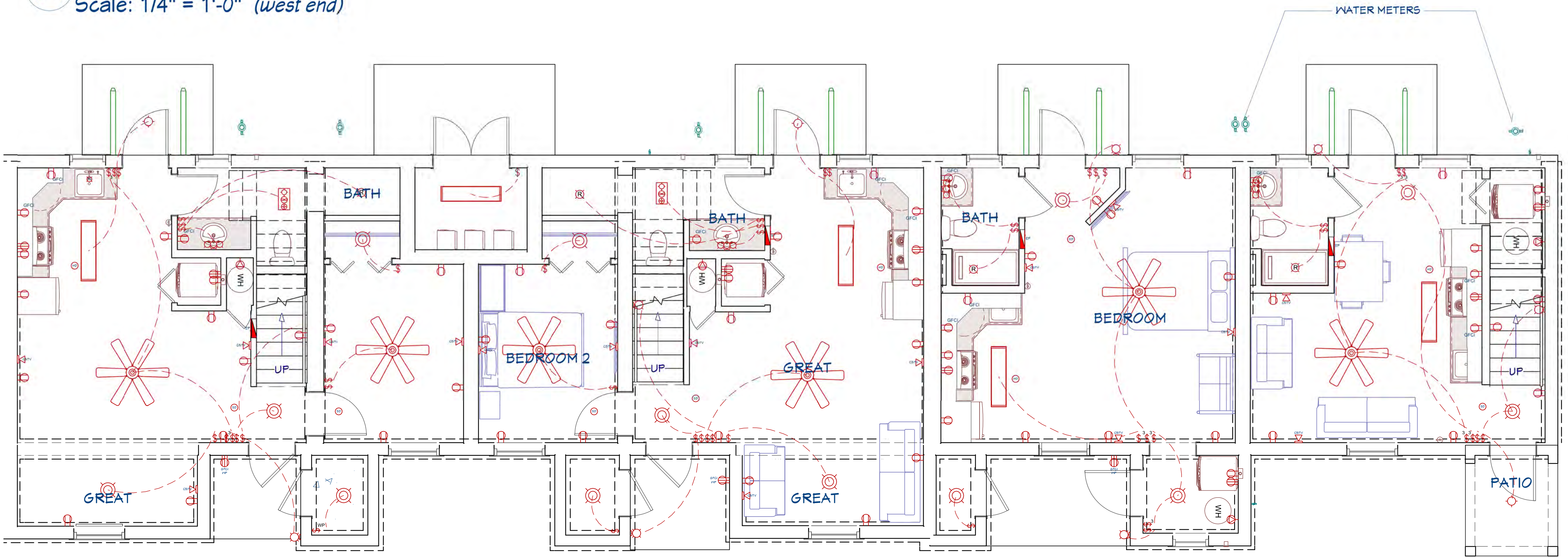
SCALE:

SHEET:

A-24



A Electrical Plan (1st flr)
Scale: 1/4" = 1'-0" (west end)



B Electrical Plan (1st)
Scale: 1/4" = 1'-0" (east end)

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

REVISION TABLE	
NUMBER	DATE



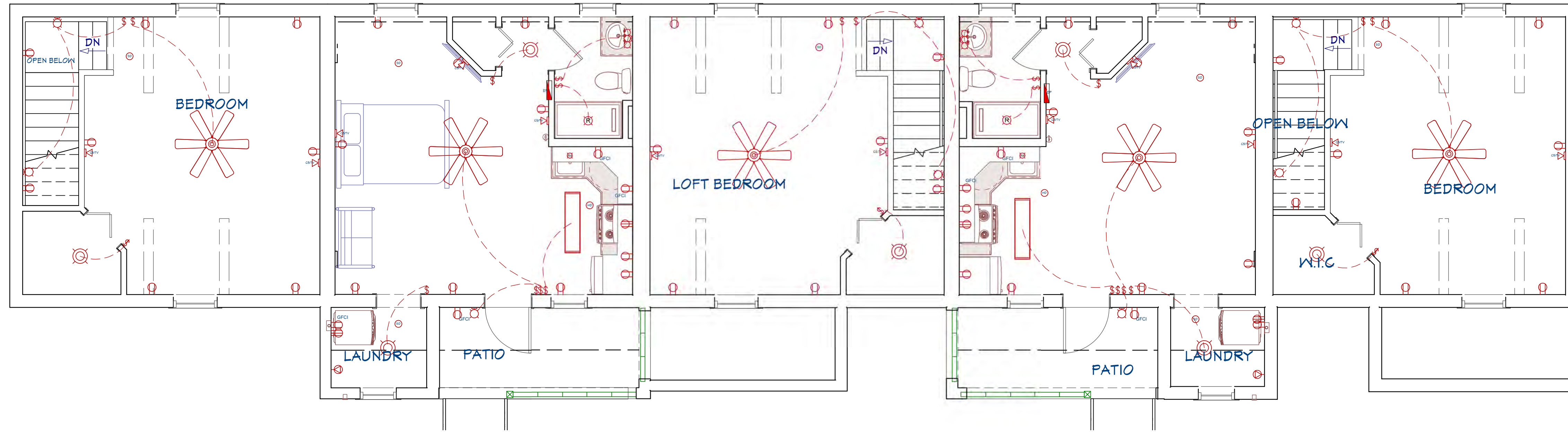
Phase II (Building 18)
Electrical 1st floor

DRAWINGS PROVIDED BY:
Housing Development Management

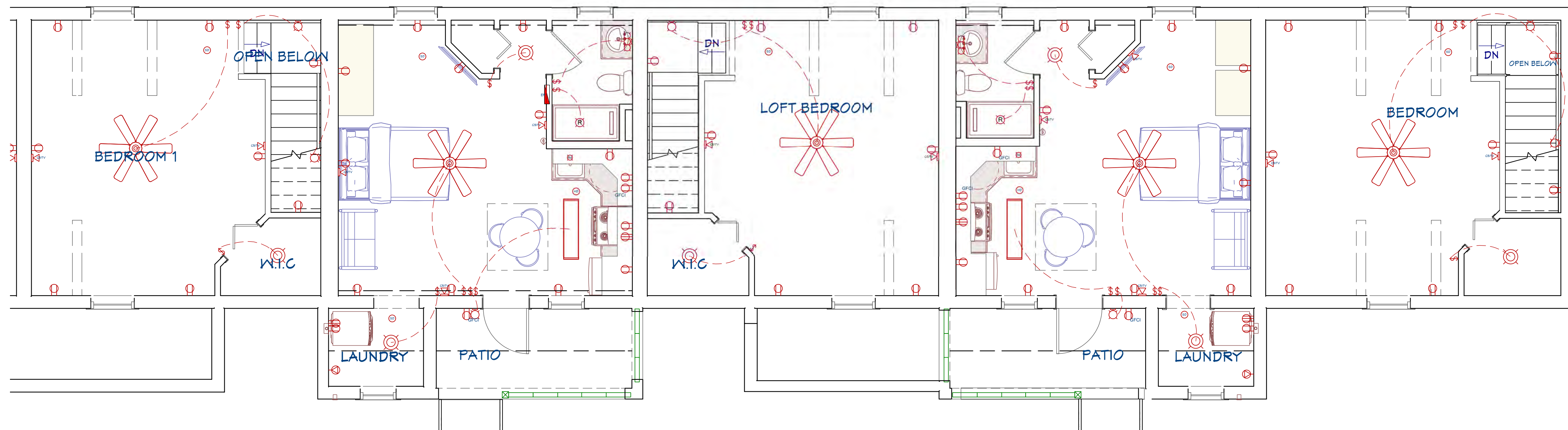
DATE:
4/15/2024

SCALE:

SHEET:
A-25



A Electrical Plan (2nd flr)
Scale: 1/4" = 1'-0" (west end)



B Electrical Plan (2nd flr)
Scale: 1/4" = 1'-0" (west end)

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way Ceiling Fan
	Switches: Dimmer, Timer
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Audio Video: Control Panel, Switch
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Chandelier Light Fixture
	Telephone Jack
	Fluorescent Light Fixture
	Intercom
	240V Receptacle
	Thermostat
	110V Receptacles: Duplex, Weather Proof, GFCI
	Door Chime, Door Bell Button
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Switches: Dimmer, Timer
	Electrical Breaker Panel
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

REVISION TABLE	
NUMBER	DATE



**Phase II (Building 18)
Electrical 2nd floor**

DRAWINGS PROVIDED BY:

DATE:

4/15/2024

SCALE:

SHEET:

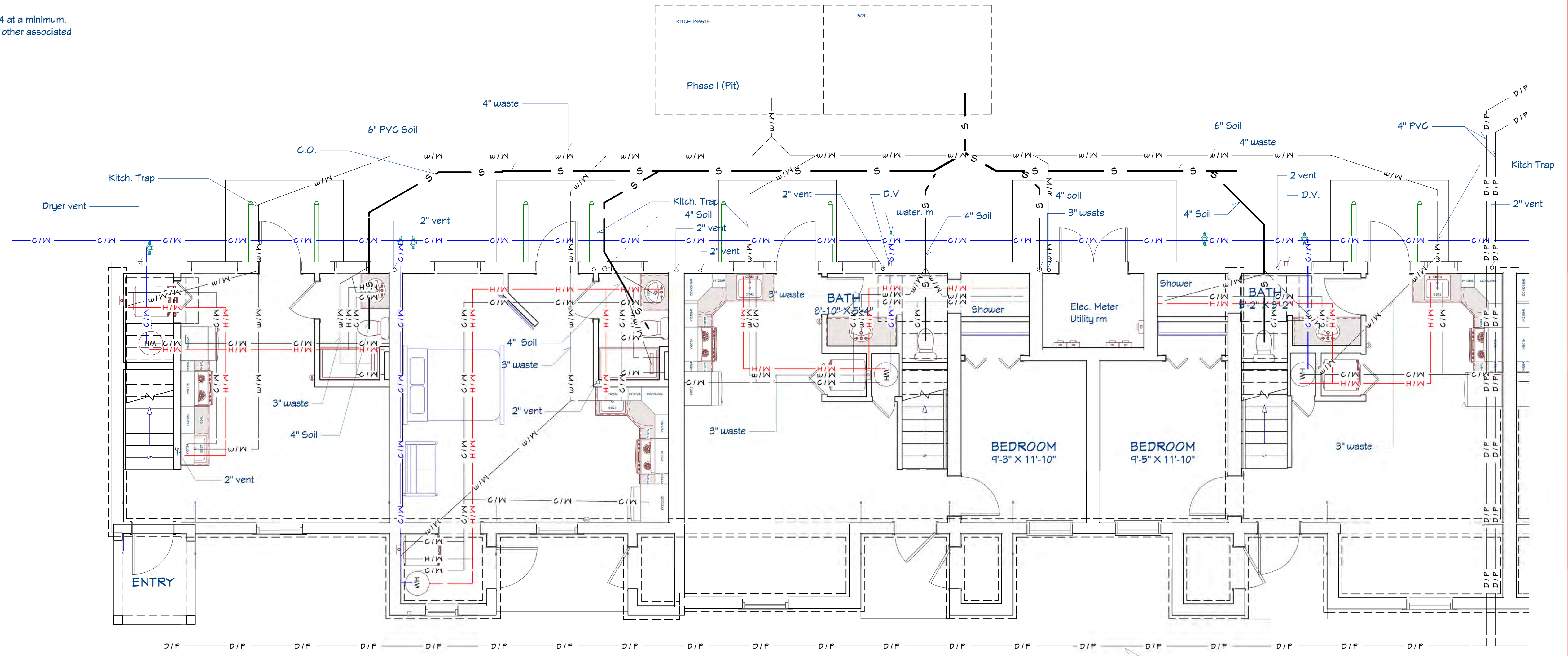
A-26

PLUMBING

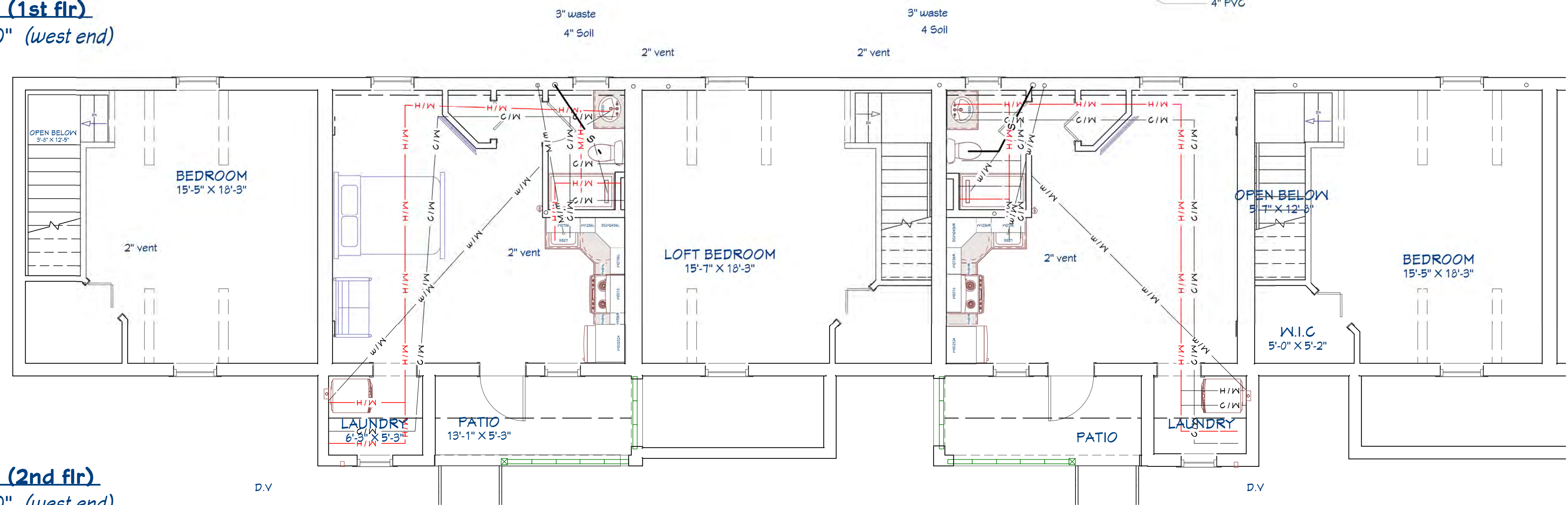
Installations/applications shall adhere to the B.R.B.C 2014 at a minimum. See Sections 22-30 including all other associated sections

ABBREVIATIONS

- D/P - Drain Pipe (Rainwater)
- C/W - Cold Water
- H/W - Hot Water
- w/W - Waste
- S - Soil
- C.O. - Cleanout
- D.V - Driver Vent



A Plumbing Plan (1st flr)
Scale: 1/4" = 1'-0" (west end)



B Plumbing Plan (2nd flr)
Scale: 1/4" = 1'-0" (west end)

NUMBER	DATE	REVISION TABLE	REVISOR	DESCRIPTION



Phase II (Building 18)
Plumbing 1st & 2nd floor
(West end)



DRAWINGS PROVIDED BY:

DATE:

4/15/2024

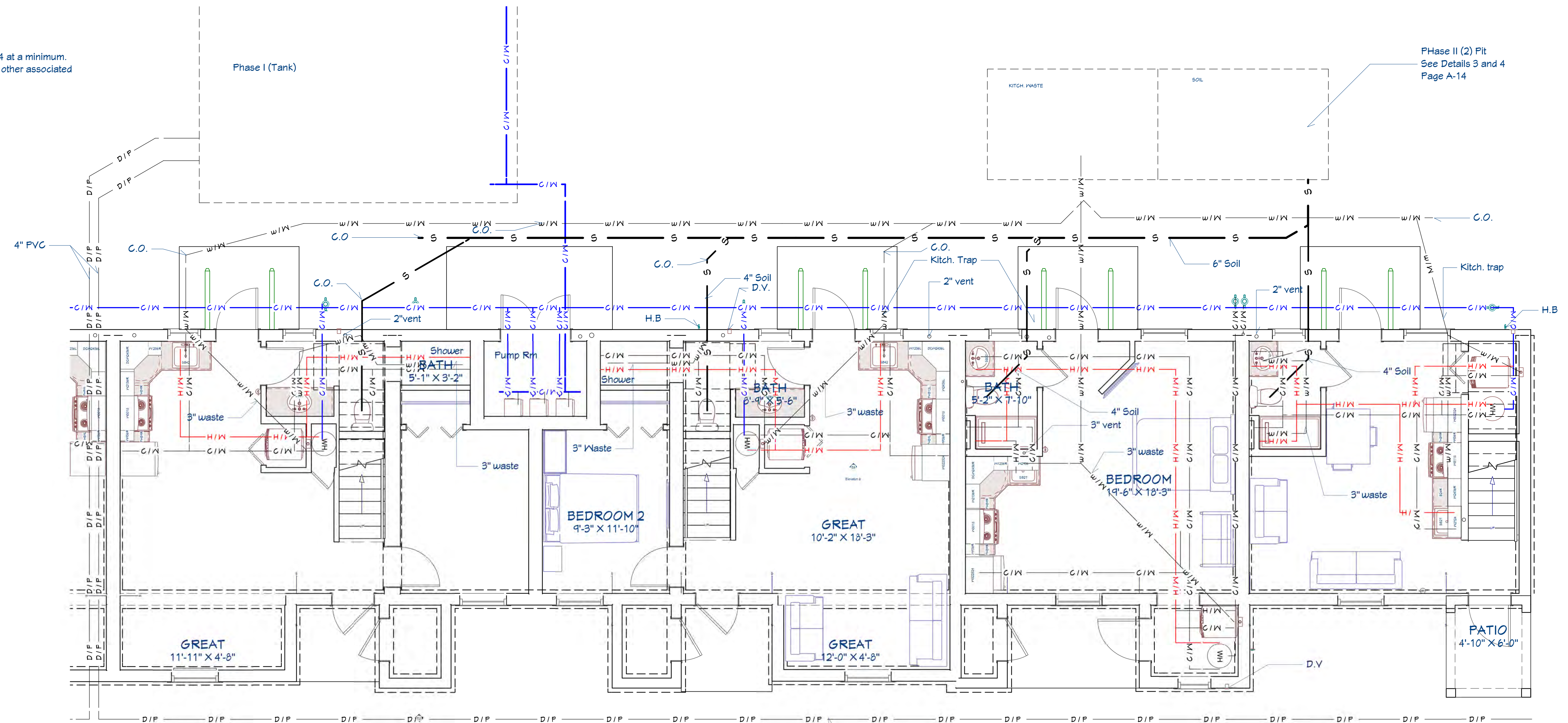
SCALE:

SHEET:

A-27

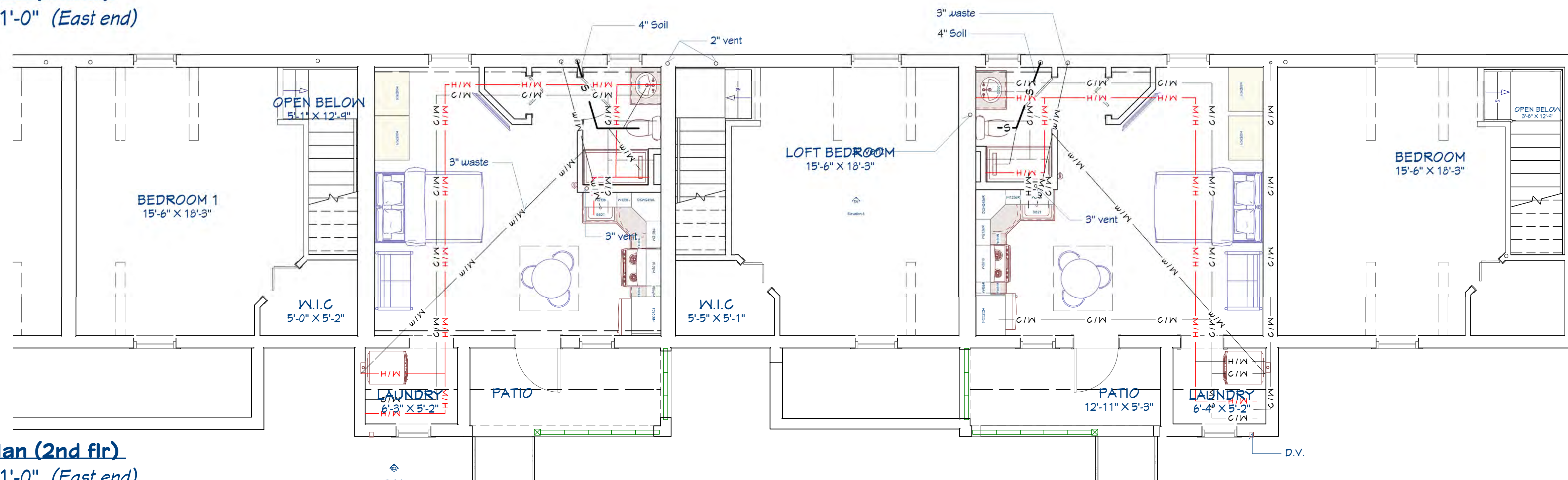
PLUMBING
 Installations/applications
 Shall adhere to the B.R.B.C 2014 at a minimum.
 See Sections 22-30 including all other associated
 sections

ABBREVIATIONS
 D/P - Drain Pipe (Rainwater)
 C/W - Cold Water
 H/W - Hot Water
 w/W - Waste
 S - Soil
 C.O. - Cleanout
 D.V. - Driver Vent



Phase II (2) Fit
 See Details 3 and 4
 Page A-14

A Plumbing Plan (1st flr)
 Scale: 1/4" = 1'-0" (East end)



B Plumbing Plan (2nd flr)
 Scale: 1/4" = 1'-0" (East end)

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION



Phase II (Building 18)
 Plumbing 1st & 2nd floor
 (East end)

DRAWINGS PROVIDED BY:

DATE:
 4/15/2024

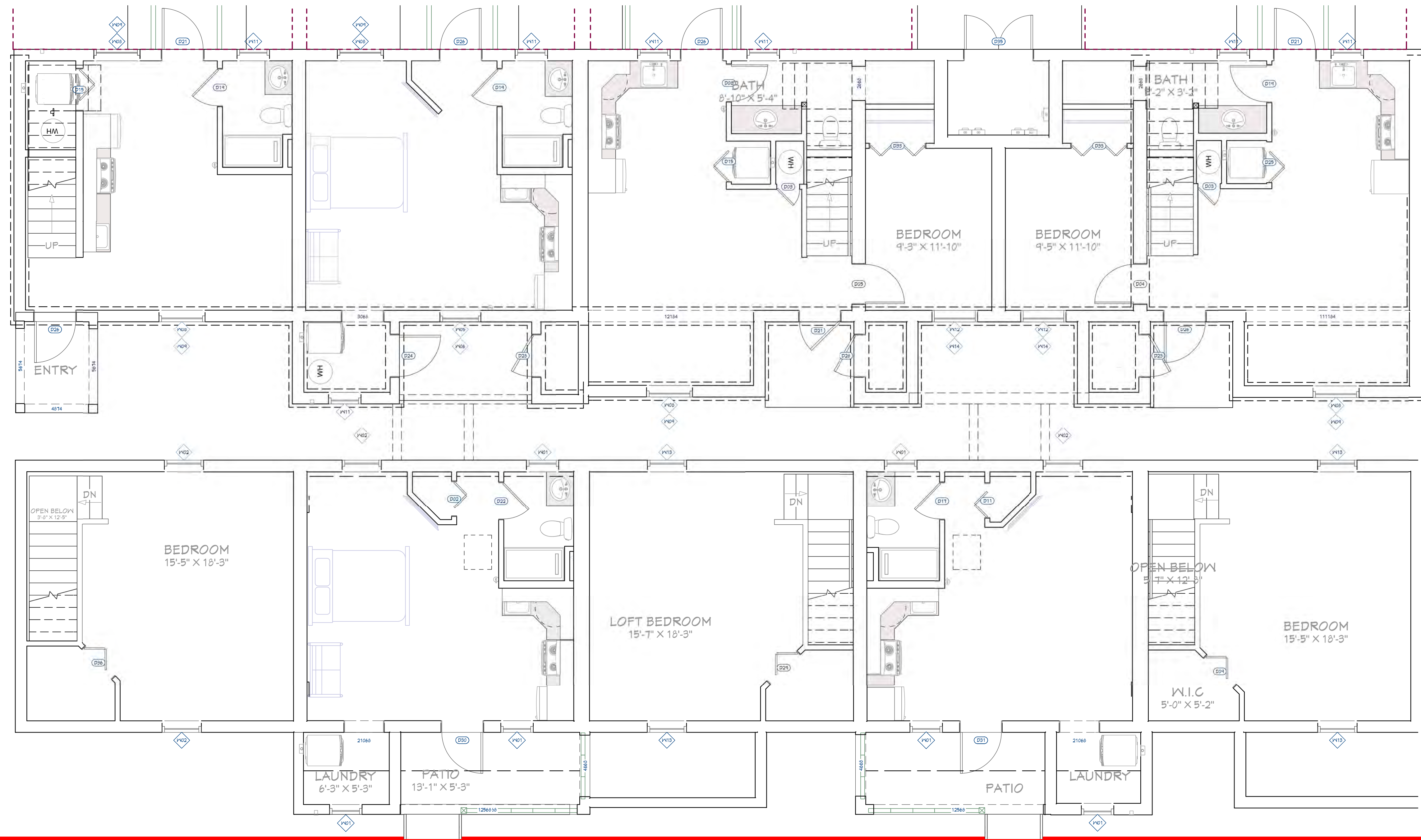
SCALE:

SHEET:

A-28

Door Schedule													
Number	Label	Qty	Floor	Size	Width	Height	R/O	Description	Header	Thickness	Code	Manufacturer	Comments
D01	1868	1	1	1868 L IN	20"	80"	22"X82 1/2"	Hinged-Door B08	2"X6"X25" (2)	1 3/8"			
D02	2668	2	2	2668 L	30"	80"	32"X82 1/2"	2 Dr. Bifold-Door B08	2"X6"X35" (2)	1 3/8"			
D03	1868	3	1	1868 R IN	20"	80"	22"X82 1/2"	Hinged-Door B08	2"X6"X25" (2)	1 3/8"			
D04	21068	2	1	21068 L IN	34"	80"	36"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D05	21068	2	1	21068 R IN	34"	80"	36"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D06	21068	1	2	21068 L IN	34"	80"	36"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D07	21068	1	2	21068 R IN	34"	80"	36"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D08	2868	4	1	2868 L IN	32"	80"	34"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D09	3068	1	2	3068 L	36"	80"	38"X82 1/2"	2 Dr. Bifold-Door B05	2"X6"X41" (2)	1 3/8"			
D10	2668	1	2	2668 L	30"	80"	32"X82 1/2"	2 Dr. Bifold-Door B05	2"X6"X35" (2)	1 3/8"			
D11	2668	1	2	2668 L EX	30"	80"	32"X82 1/2"	ext. 2 Dr. Bifold-Door B08	2"X6"X35" (2)	1 3/8"			
D12	2668	2	2	2668 R	30"	80"	32"X82 1/2"	2 Dr. Bifold-Door B05	2"X6"X35" (2)	1 3/8"			
D13	3068	1	2	3068 R	36"	80"	38"X82 1/2"	2 Dr. Bifold-Door B08	2"X6"X38" (2)	1 3/8"			
D15	3068	4	1	3068 L	36"	80"	38"X82 1/2"	2 Dr. Bifold-Door B08	2"X6"X41" (2)	1 3/8"			
D16	3058	6	1	3058 R IN	36"	68"	38"X70 1/2"	Hinged-Door F04	2"X6"X41" (2)	1 3/8"			
D17	2868	1	2	2868 R IN	32"	80"	34"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D19	2868	4	1	2868 R IN	32"	80"	34"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D21	3068	8	1	3068 L EX	36"	80"	38"X83"	ext. Hinged-Door E02	2"X6"X41" (2)	1 3/4"			
D22	2868	1	2	2868 L IN	32"	80"	34"X82 1/2"	Hinged-Door F04	2"X6"X34" (2)	1 3/8"			
D23	3068	1	1	3068 L EX	36"	80"	38"X83"	ext. Hinged-Panel	2"X6"X41" (2)	1 3/4"			
D24	3068	3	1	3068 L EX	36"	80"	38"X83"	ext. Hinged-Louvered	2"X6"X41" (2)	1 3/4"			
D25	3068	2	1	3068 R	36"	80"	38"X82 1/2"	2 Dr. Bifold-Door B08	2"X6"X41" (2)	1 3/8"			
D26	3068	5	1	3068 R EX	36"	80"	38"X83"	ext. Hinged-Door E02	2"X6"X41" (2)	1 3/4"			
D27	3068	1	1	3068 R EX	36"	80"	38"X83"	ext. Hinged-Door E21	2"X6"X41" (2)	1 3/4"			
D28	3068	4	1	3068 R EX	36"	80"	38"X83"	ext. Hinged-Louvered	2"X6"X41" (2)	1 3/4"			
D29	3068	1	2	3068 R	36"	80"	38"X82 1/2"	2 Dr. Bifold-Door B08	2"X6"X41" (2)	1 3/8"			
D30	3068	2	2	3068 L EX	36"	80"	38"X83"	ext. Hinged-Door E02	2"X6"X41" (2)	1 3/4"			
D31	3068	2	2	3068 R EX	36"	80"	38"X83"	ext. Hinged-Door E02	2"X6"X41" (2)	1 3/4"			
D32	4068	2	1	4068 L/R	48"	80"	50"X82 1/2"	4 Dr. Bifold-Door B08	2"X6"X53" (2)	1 3/8"			
D33	4068	2	1	4068 L/R	48"	80"	50"X82 1/2"	4 Dr. Bifold-Louvered	2"X6"X53" (2)	1 3/8"			
D34	3058	6	1	3058 L IN	36"	68"	38"X70 1/2"	Hinged-Door F04	2"X6"X41" (2)	1 3/8"			
D35	5068	2	1	5068 L/R EX	60"	80"	62"X83"	ext. Double Hinged-Louvered	2"X6"X65" (2)	1 3/4"			
D36	3068	1	2	3068 L	36"	80"	38"X82 1/2"	2 Dr. Bifold-Door B08	2"X6"X41" (2)	1 3/8"			

Window Schedule													
Number	Label	Qty	Floor	Size	Width	Height	R/O	Egress	Description	Header	Code	Manufacturer	Comments
W01	2030DH	12	2	2030DH	24"	36"	28 1/2"X40 1/2"		Double Hung	2"X6"X31 1/2" (2)			
W02	2642DH	8	2	2642DH	30"	50"	34 1/2"X54 1/2"	Yes	Double Hung	2"X6"X31 1/2" (2)			
W03	30155C	1	1	30155C	36"	17"	40"X21"		Single Casement-hr	2"X6"X43" (2)			
W05	30155C	1	1	30155C	36"	17"	37"X18"		Single Casement-hr	2"X6"X40" (2)			
W06	30411DH	1	1	30411DH	36"	59"	37"X60"		Double Hung	2"X6"X40" (2)			
W08	30155C	12	1	30155C	36"	17"	40 1/2"X21 1/2"		Single Casement-hr	2"X6"X43 1/2" (2)			
W09	30411DH	13	1	30411DH	36"	59"	40 1/2"X63 1/2"		Double Hung	2"X6"X43 1/2" (2)			
W11	2030DH	14	1	2030DH	24"	36"	28 1/2"X40 1/2"		Double Hung	2"X6"X31 1/2" (2)			
W12	34195C	2	1	34195C	40"	21"	41"X22"		Single Casement-hr	2"X6"X44" (2)			
W13	2642DH	7	2	2642DH	30"	50"	34 1/2"X54 1/2"	Yes	Double Hung	2"X6"X34 1/2" (2)			
W14	3450DH	2	1	3450DH	40"	60"	41"X61"		Double Hung	2"X6"X44" (2)			
W16	3048DH	1	2	3048DH	36"	56"	40 1/2"X60 1/2"	Yes	Double Hung	2"X6"X40 1/2" (2)			



REVISION TABLE	
NUMBER	DESCRIPTION



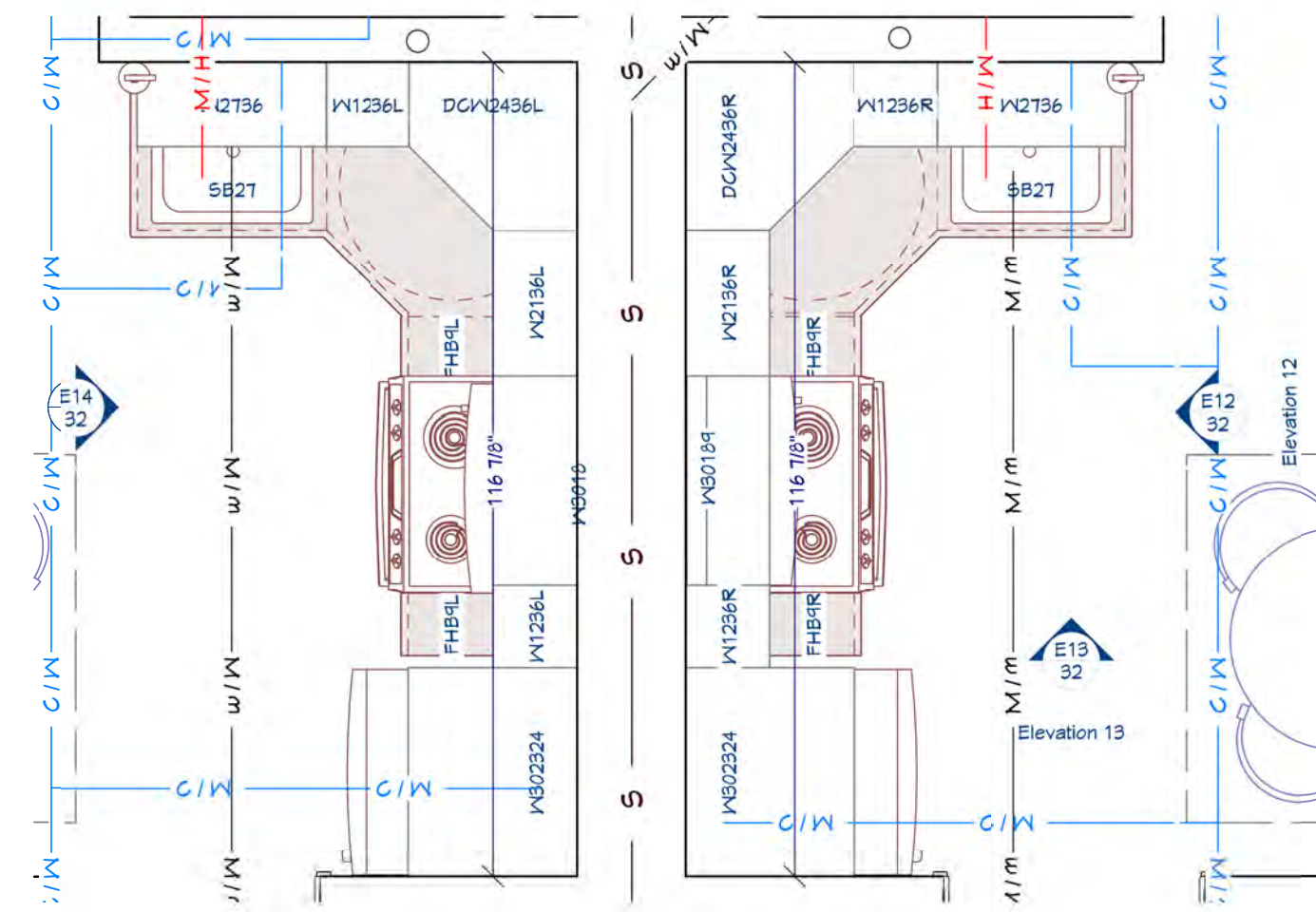
Phase II (Building 18)
Door and Windows
Schedules

DRAWINGS PROVIDED BY:
Housing Development Management

DATE:
4/15/2024

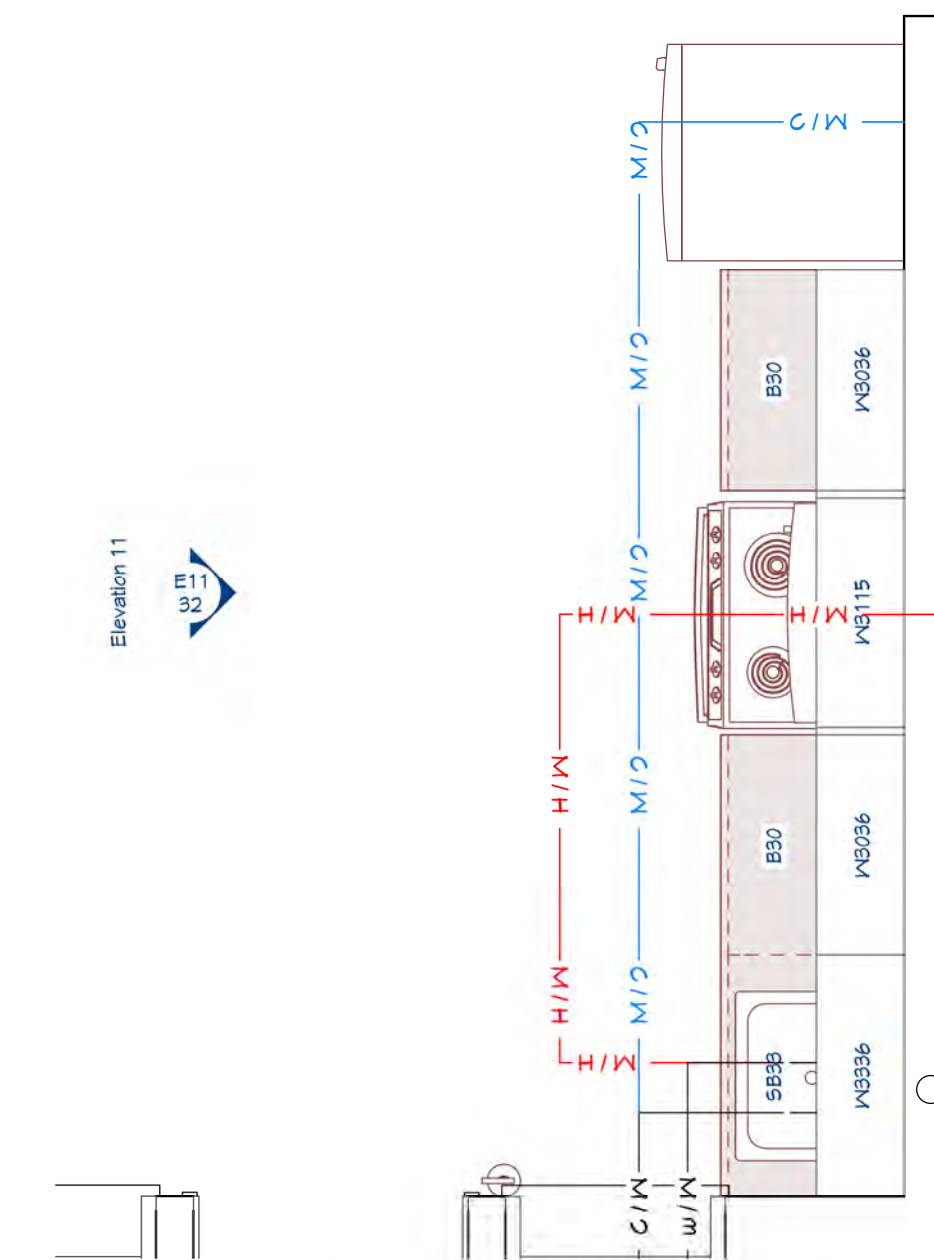
SCALE:

SHEET:
A-29



Kitchen Plan - Type 1 (10+sqft)

1/2"=1'



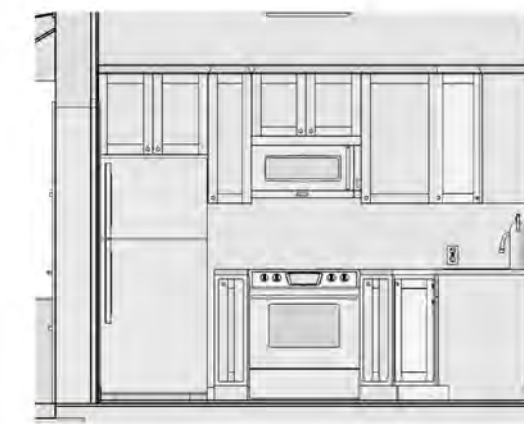
Kitchen Plan - Type 2 (10+sqft)

1/2"=1'



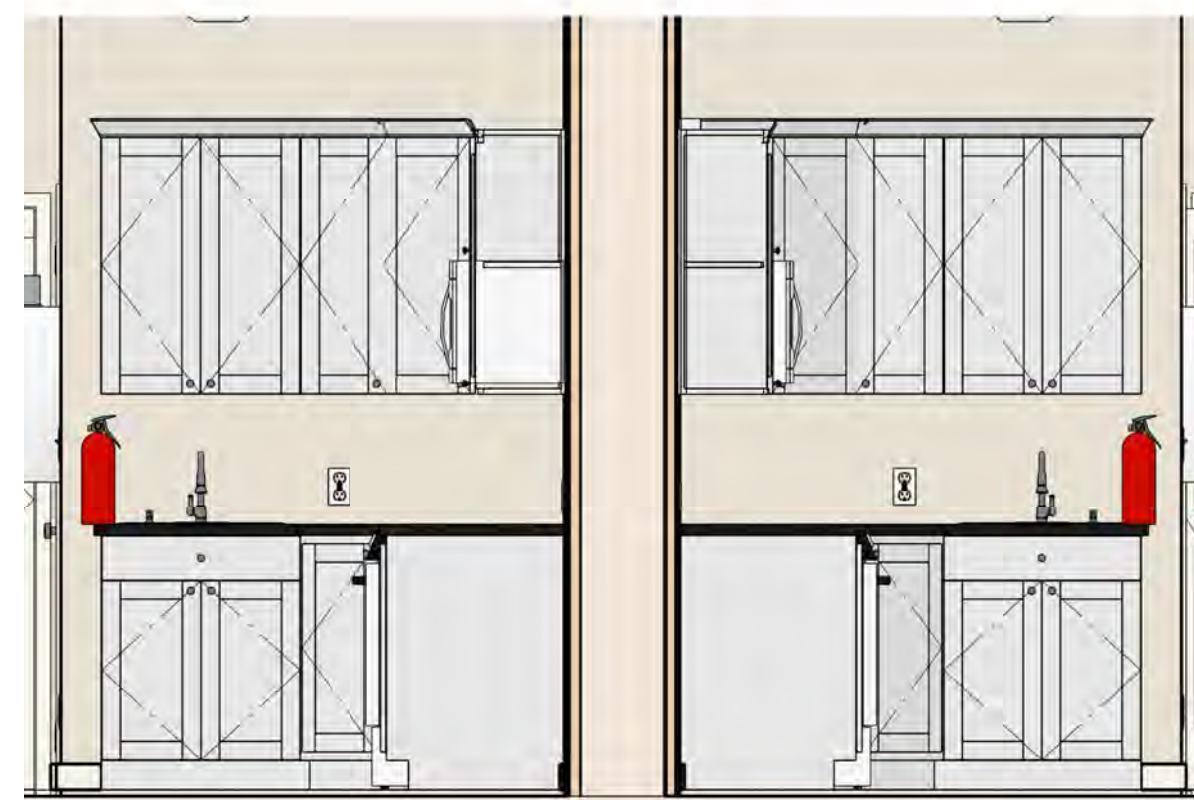
E14 FRONT ELEVATION (Right)

1/4"=1'



E12 FRONT ELEVATION (Left)

1/4"=1'



E13 SIDE ELEVATION (Left & Right)

1/2"=1'



E11 FRONT ELEVATION

1/2"=1'

KITCHEN & CABINET NOTES:

- 1 ALL CABINETS FRAMELESS, MAPLE OR ALDER
- 2 CONFIRM FINISH & STAIN/PAIN WITH CLIENT PRIOR TO ORDERING
- 3 CONFIRM DOOR & DRAWER STYLES WITH CLIENT PRIOR TO ORDERING
- 4 INSTALL HARDWARE ON SITE
- 5 INSTALL CROWN MOLDING ON SITE; CONFIRM PROFILE AND DIMENSION WITH HOME OWNER
- 6 CABINET SUPPLIER RESPONSIBLE FOR FINAL MEASUREMENTS & CABINET OPENINGS FOR APPLIANCES SPECIFICATIONS
- 7 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS, UNO. REFER TO APPLIANCE SPECIFICATIONS FOR AMP/ VOLTAGE REQUIREMENTS
- 8 USE MIN 6" DUCT FOR HOOD. CONFIRM HOOD IS 600 CFM MIN.
- 9 CONFIRM FINAL MATERIALS FOR BACKSPASH AND COUNTERTOP WITH CLIENT PRIOR TO ORDERING
- 10 ALL DRAWERS TO BE TONGUE & GROOVE; GLIDES TO BE SOFT CLOSE
- 11 LED STRIP LIGHTS FOR WALL CABINETS AND UNDER ISLAND
- 12 UNDERCOUNTER GFCI ELECTRICAL PLUGS
- 13 COUNTER FABRICATION: CONFIRM ALL FIXTURE MEASUREMENTS AND CENTERLINES

REVISION TABLE	
NUMBER	DATE



Phase II (Building 18)
Kitchen plans

DRAWINGS PROVIDED BY:
Housing Development Management

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4/15/2024

SCALE:

SHEET:

A-32