

204'-2" (LENGTH OF BUILDING)

WALLS:
Masonry Walls shall be <10" to match existing

Tenant separation walls shall be 10" with 2" furring/framing under 5/8" Fire Rated Drywall taped, mudded and smooth finished each side.

Exterior Walls (Mason or BDA Stone) Shall be sealed (waterproofed) the 2" furring/framing under 1/2" Moisture Mold Resistant Drywall

See plan for 4" or 6" interior framing. Note: Metal (mtl) framing is preferred barring material availability. Verify with Owner

LINTELS:
Standard: match width of wall:
10" = 8" x 10" reinf. 3 T12 bottom

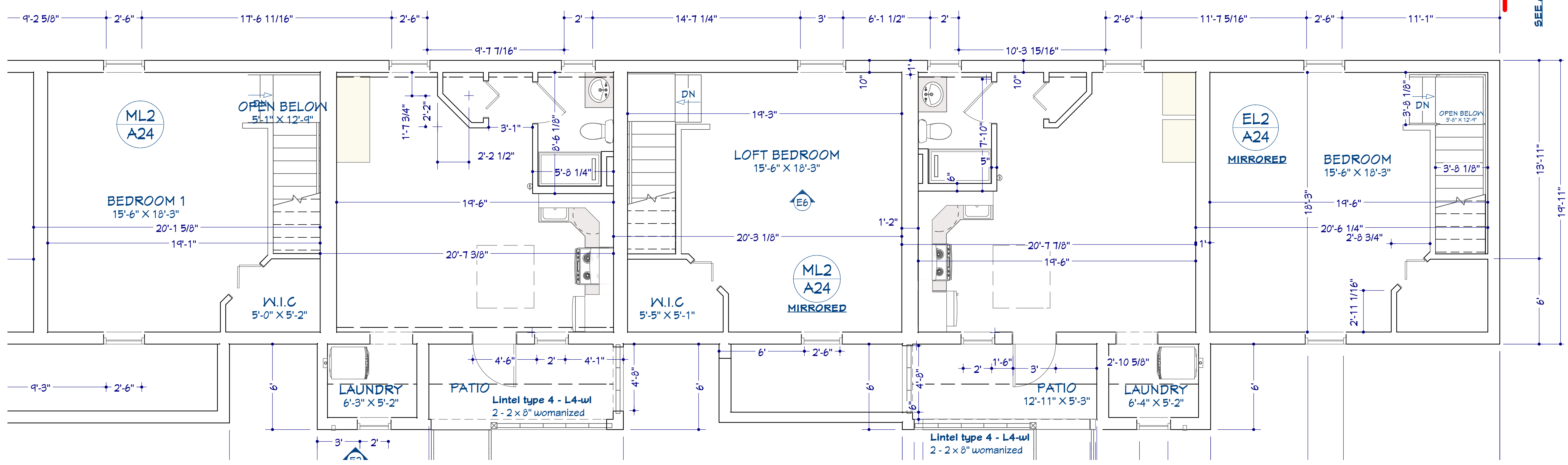
FLOOR SPAN SYMBOL- JOIST:
2"x Joist @ 12"o.c.
Set in joist hangers see A24

FLOOR SPAN SYMBOL:
8" Conc. reinforced slab see ADDENDUM 1 SHEET A.16

Tenant separation walls (typ.) can be at a min. 10" wall continuous to roof w/ 5/8" Fire-rated drywall. 2" furring and insulated ea. side (run electrical on face of block wall wall shall sit on on 12"D x 24"W footing as per structural or code.

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

A Building A (18 Battery Rd) 2nd Floor Dimensioned Floor plan
Scale: 1/4" = 1'-0"



LINTELS:
All windows and doors L1
Standard: match width of wall:
10" = 8" x 10" reinf. 3 T12 bottom

Lintel type 3 - L2
2T20 bot
2T12 top
T6 @ 5" c/c
10'-0" span / 10" lintel depth

Lintel type 3 - L3
2T20 bot
2T12 top
T6 @ 8" c/c
12'-0" span / 16" lintel depth

B Building A (18 Battery Rd) 2nd Floor Dimensioned Floor plan
Scale: 1/4" = 1'-0"



Phase II (Building 18)
Building Dimensioned Plan
2nd Fir

DRAWINGS PROVIDED BY:

DATE:
5/22/2024

SCALE:

SHEET:
A-19