

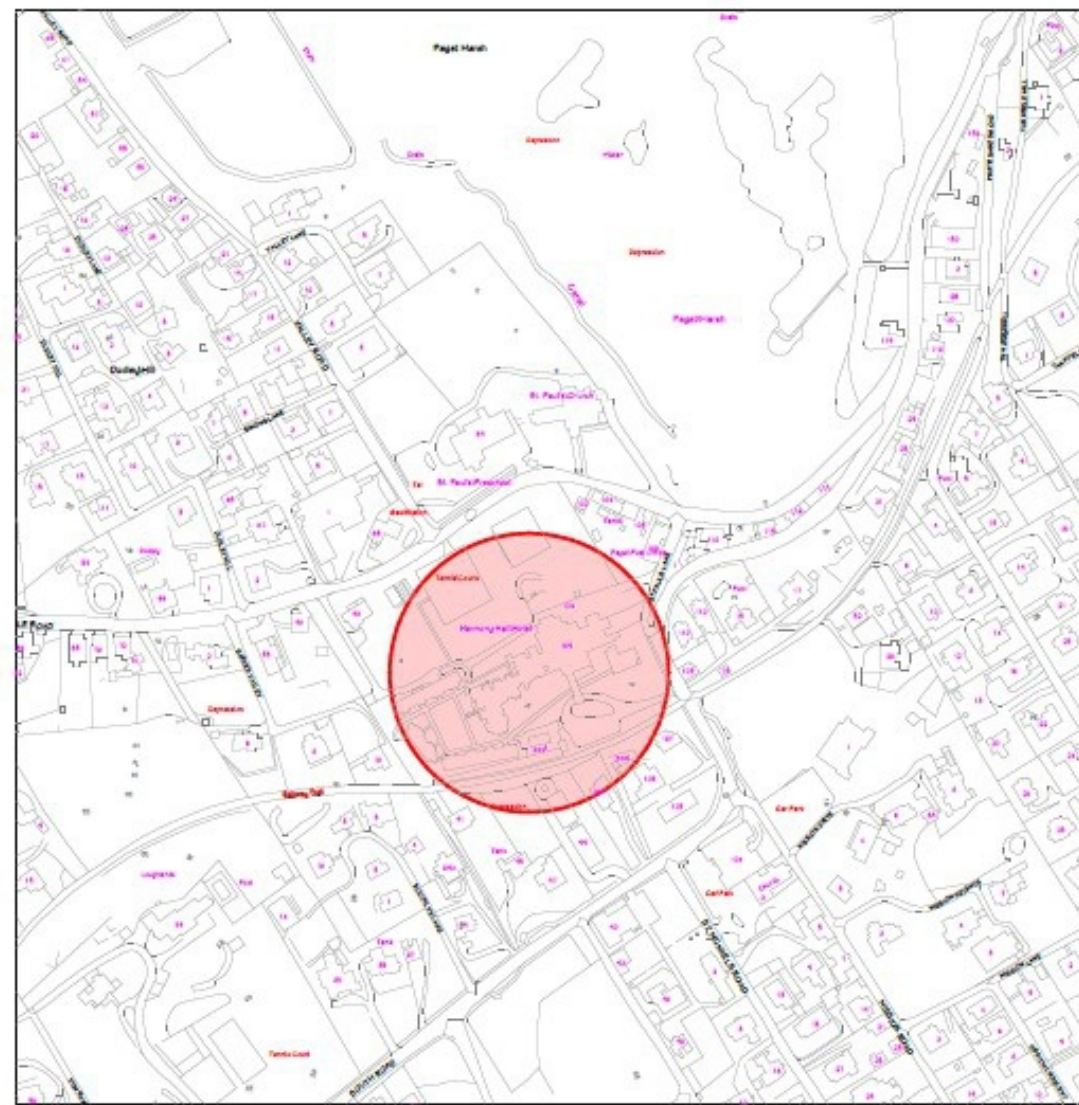


BLOCK C - EXISTING



BLOCK C - PROPOSED

**A-1 EBL FOR ILLUSTRATION ONLY
PROPOSED RENOVATION RENDERING**



**A-1 EBL LOCATION PLAN
SCALE: 1/8" = 1'-0"**

Revision Table			
Number	Date	Description	Label

GENERAL INFORMATION

- DO NOT SCALE THESE DRAWINGS.
- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS, GRADES, & LEVELS ON SITE, PRIOR TO SETTING OUT THE WORK.
- ALL WORK SHALL CONFORM TO THE CURRENT NATIONAL BUILDING, ELECTRICAL, FIRE, AND HEALTH CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, BEST QUALITY MATERIALS, AND SKILLED MECHANICS AS REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AS INDICATED, OR REASONABLY INFERABLE FROM THESE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED COORDINATION BETWEEN THE VARIES TRADES, AND PORTION OF THE WORK.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE WORK SITE.
- THE SITE SHALL BE KEPT FREE AND CLEAR OF ACCUMULATED WASTE MATERIALS AND DEBRIS.
- THE CONTRACTOR SHALL BE LIABLE FOR, AND TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE COURSE OF CONSTRUCTION OPERATIONS.
- ALL MATERIAL AND DEBRIS SHALL BE REMOVED AT THE COMPLETION OF THE JOB AND THE WORK LEFT 'BROOM CLEAN'.
- THE CONTRACTOR, WITHOUT COST TO THE OWNER, SHALL PROMPTLY, CORRECT AND WORK FOUND TO BE DEFECTIVE WITHIN ONE YEAR OF THE COMPLETION OF THE WORK.

DRAWING LIST

- A-1 COVER PAGE
- A-2 PROPERTY SITE PLAN
- A-3 BUILDING SITE PLAN
- A-4 EXISTING & DEMO PLAN
- A-5 FLOOR PLANS
- A-6 BUILDING SECTIONS
- A-7 BUILDING ELEVATIONS
- A-8 BUILDING ELEVATIONS
- A-9 ELECTRICAL PLANS
- A-10 PLUMBING PLANS
- A-11 FIRE PROTECTION - **REVISION**

PROJECT DATA:

- | | |
|---------------------------|----------------------|
| ■ RESIDENTIAL ZONE: | TOURISM |
| ■ AREA OF SITE: | 4.90 ACRES |
| ■ SITE COVERAGE EXISTING: | 2137 sq. ft. |
| ■ SITE COVERAGE PROPOSED: | 663 sq. ft. |
| ■ TANK CAPACITY EXISTING: | 44,847 imp. gal. |
| ■ ROOF AREA EXISTING: | 1784 sq. ft. |
| ■ ROOF AREA PROPOSED: | 403 sq. ft. |
| ■ NUMBER OF STORIES: | 2 |
| ■ NUMBER OF UNITS: | 8(EXIST) - 0 (PROP.) |
| ■ PARKING: | 8+ |

MISCELLANEOUS NOTES:

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.

ATTIC R-30
WALLS R-21
FLOORS R-30

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE I.R.C.

PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE 2006 INTERNATIONAL BUILDING CODE.

SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS.

DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:
OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTRACTOR FOR BUILDING OFFICIAL.
FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER. SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.

DUTIES OF THE GENERAL CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.
MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.
PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.
MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.

DEFINITIONS:
CONTINUOUS INSPECTION: THE SPECIAL INSPECTOR IS OBSERVING THE WORK REQUIRING SPECIAL INSPECTION AT ALL TIMES.
PERIODIC INSPECTION: THE SPECIAL INSPECTOR IS ON SITE AS REQUIRED TO CONFIRM THAT THE WORK REQUIRING SPECIAL INSPECTION IS IN CONFORMANCE.



A-2
EBL
PROPERTY SITE PLAN
SCALE: 1/8" = 7'-0"



SHEET TITLE:
PROPERTY SITE PLAN

PROJECT DATA:
**HARMONY TERRACE NORTH
(BLOCK C)**
AT
#109 SOUTH ROAD, PAGET, PG-03

BY:	DATE:
EBLambert	DEC. 30/2025
SCALE:	JOB #:
AS SHOWN	BHC/HTN/11

SHEET #:

A-2

- EXISTING BUILDING
- PROPOSED BUILDING
- EXTENT OF BHC SUPPLIED 24" x 24" STEPPING STONES

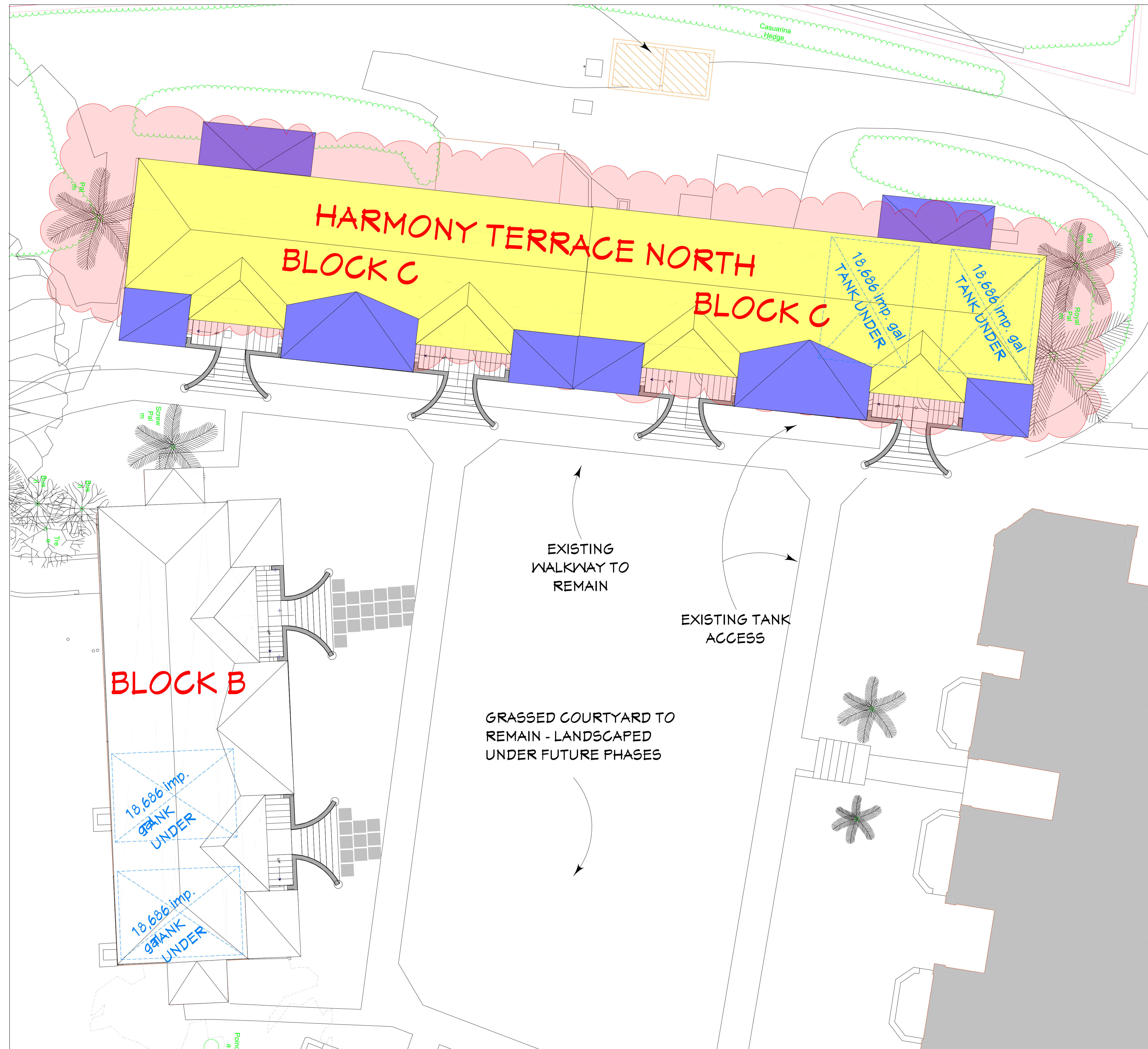
GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE B.R.B.C. AND ALL ADDITIONAL LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. AND DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.



A-3 BUILDING SITE PLAN
EBL SCALE: 1/16" = 1'-0"



SHEET TITLE:
BLDG. SITE PLAN

PROJECT DATA:
**HARMONY TERRACE NORTH
(BLOCK C)
AT
#109 SOUTH ROAD, PAGET, PG-03**

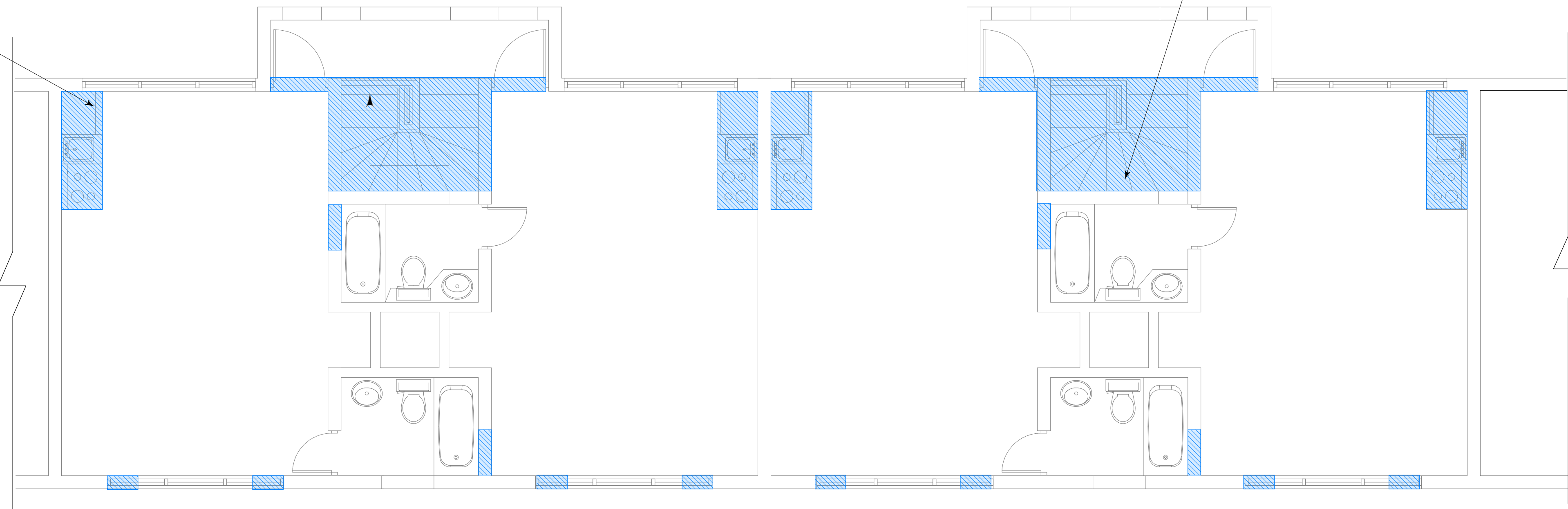
BY:	DATE:
EBLambert	DEC. 30/2025
SCALE:	JOB #:
AS SHOWN	BHC/HTN/17

SHEET #:

A-3

CAP OFF & RE-ROUTE
EXITING PLUMBING TO
PROPOSED LOCATION

DEMOLISH EXISTING
STAIR PREP F/ CONC.
SLAB



A-4
EBL
EXISTING & DEMO PARTIAL UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

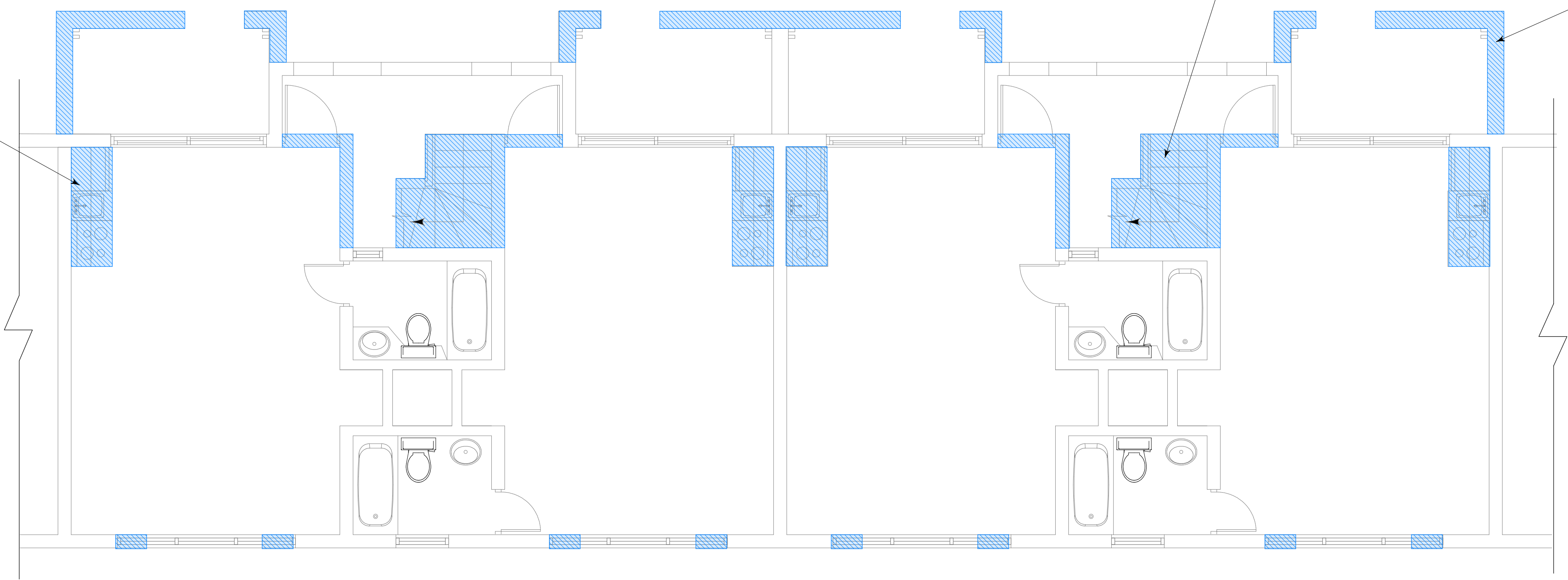
THESE DRAWINGS ARE THE PROPRIETARY WORK
PRODUCT AND PROPERTY OF EBL DESIGN &
PROJECT MANAGEMENT, DEVELOPED FOR THE
EXCLUSIVE USE OF EBL DESIGN & PROJECT
MANAGEMENT. USE OF THESE DRAWINGS AND
CONCEPTS CONTAINED THEREIN WITHOUT THE
WRITTEN PERMISSION OF EBL DESIGN &
PROJECT MANAGEMENT IS PROHIBITED AND MAY
SUBJECT YOU TO A CLAIM FOR DAMAGES.

- EXISTING WALLS TO REMAIN
- WALLS TO BE DEMOLISHED
- ADJOINING UNIT

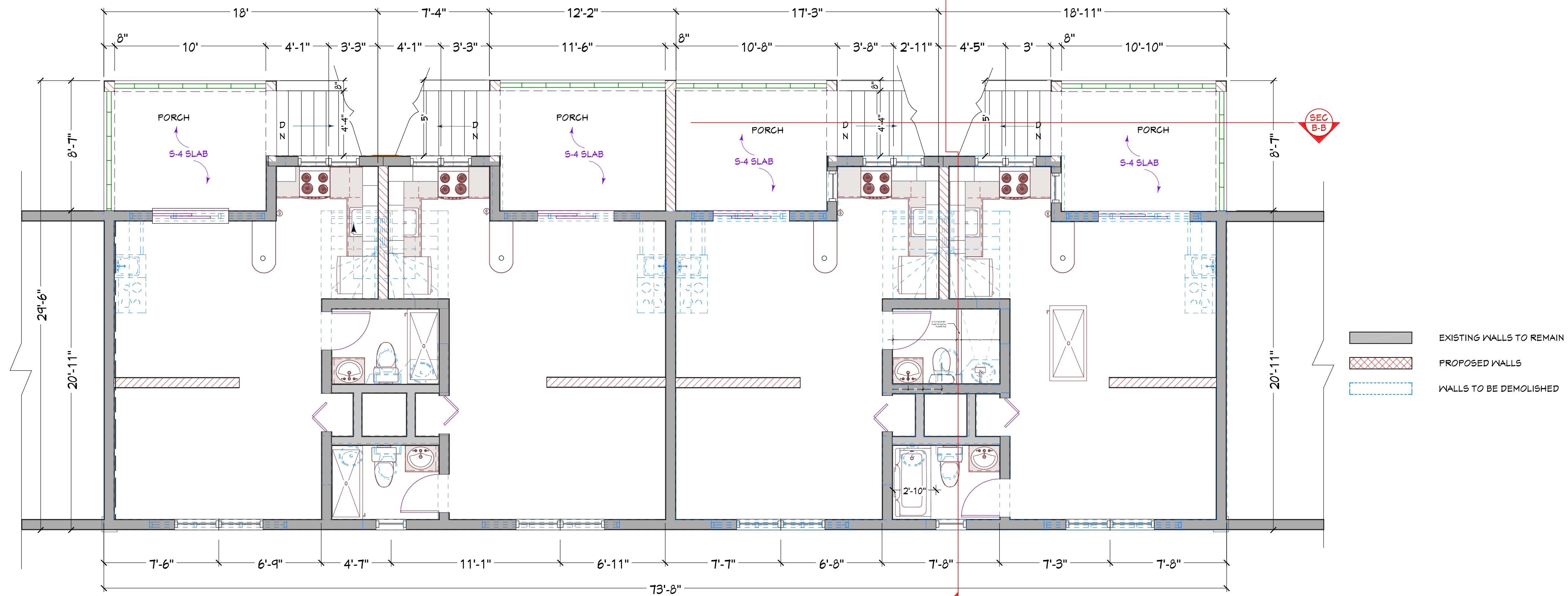
DEMOLISH EXISTING
STAIR PREP F/ CONC.
SLAB

DEMOLISH EXISTING
GARDEN WALLS AND
PREP FOR PORCH
ADDITION

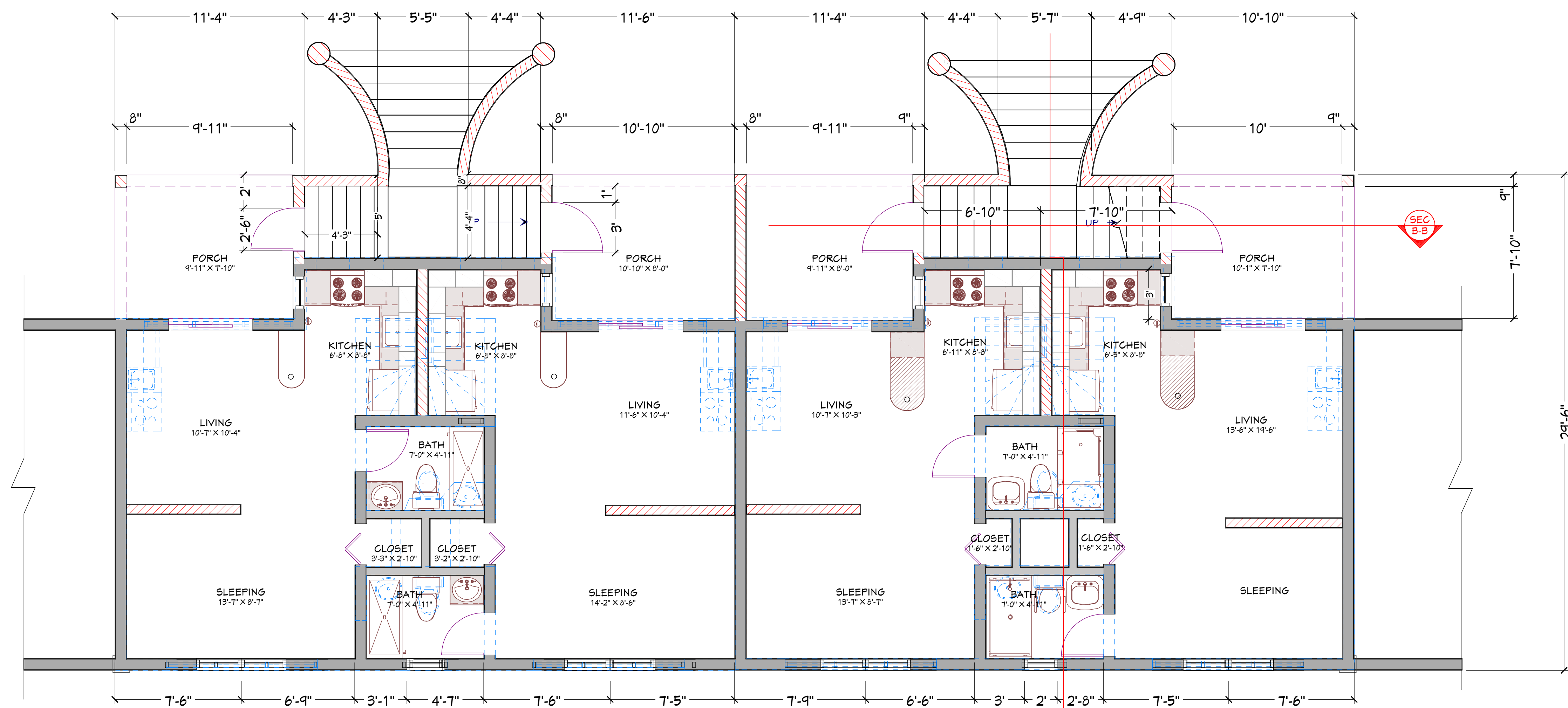
CAP OFF & RE-ROUTE
EXITING PLUMBING TO
PROPOSED LOCATION



A-4
EBL
EXISTING & DEMO PARTIAL LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"



A-5
EBL
PROPOSED UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



A-5
EBL
PROPOSED LOWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET TITLE:

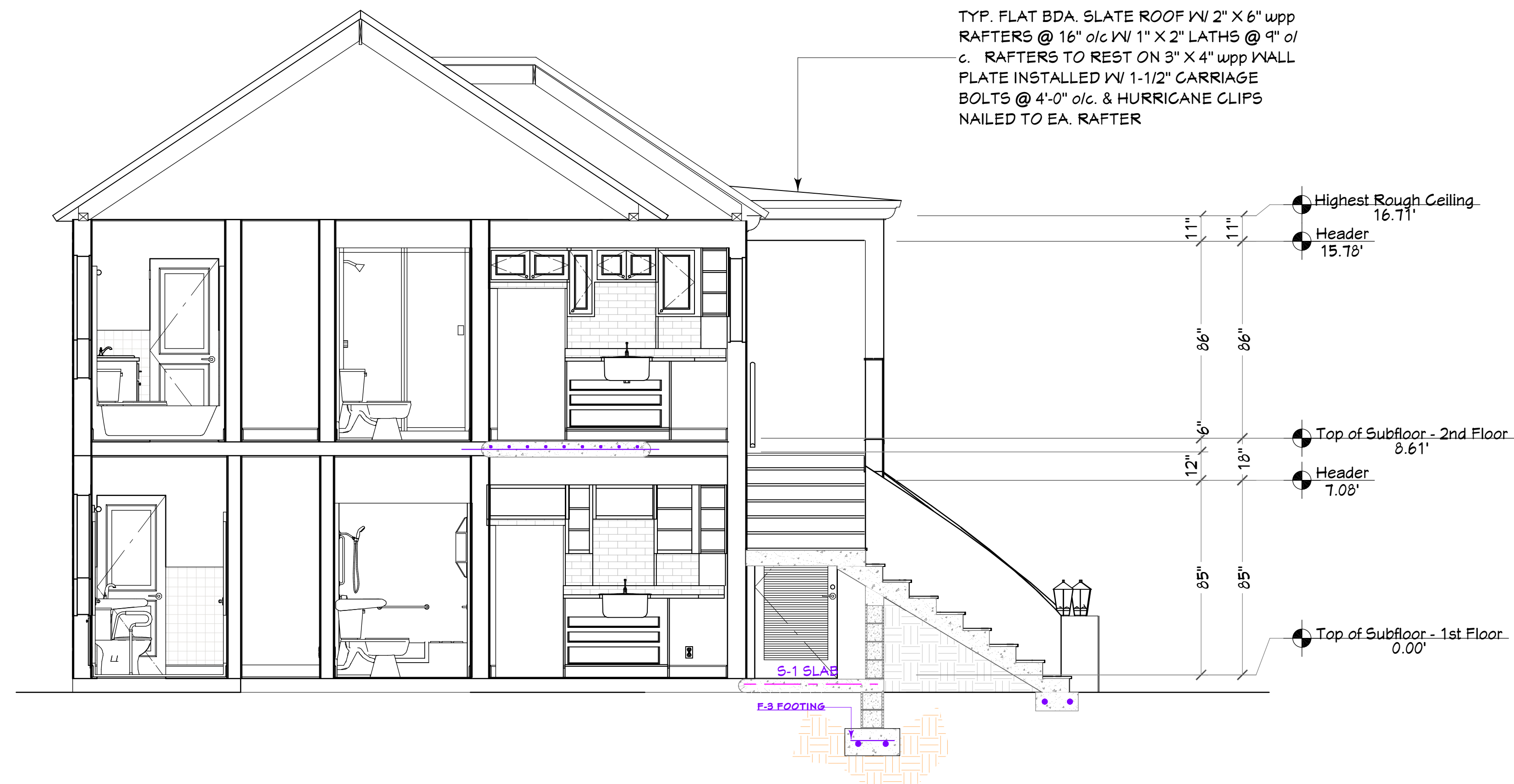
FLOOR PLANS

PROJECT DATA:
**HARMONY TERRACE NORTH
(BLOCK C)**
AT
#109 SOUTH ROAD, PAGET, PG-03

BY:	DATE:
EBLambert	DEC. 30/2025
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AS SHOWN	BHC/HTN/11

SHEET #:

A-5



FLOORS AND ROOFS

ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THEN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

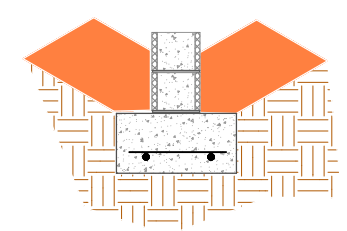
PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/STRENGTHS FROM NON-SPECIFIED MANUFACTURERS.

THE OWNER/BUILDER SHALL NOT BE SUBSTITUTING MATERIALS PROVIDED THEY MEET CURRENT BLDG. CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL

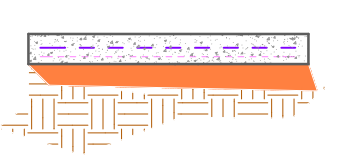
A-6
EBL BUILDING SECTION A-A
SCALE: 3/16" = 1'-0"

FOUNDATION SCHEDULE:

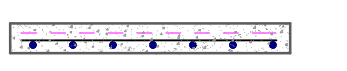


F3 FOOTING - TYP. GRADE
 12" X 24" (WIDE) FOOTING WITH 2 - 12MM DIA. BARS WITH 10MM DIA. TRANSVERSE BARS PLACES @ 48" o/c. ALL REINFORCING TO BE PLACED WITH A MIN. 3" COVER FROM EARTH FACE AND CONCRETE TO REST ON SOLID BEDROCK @ A MIN. 3000 p.s.i. @ 28 DAYS.

SLAB SCHEDULE:

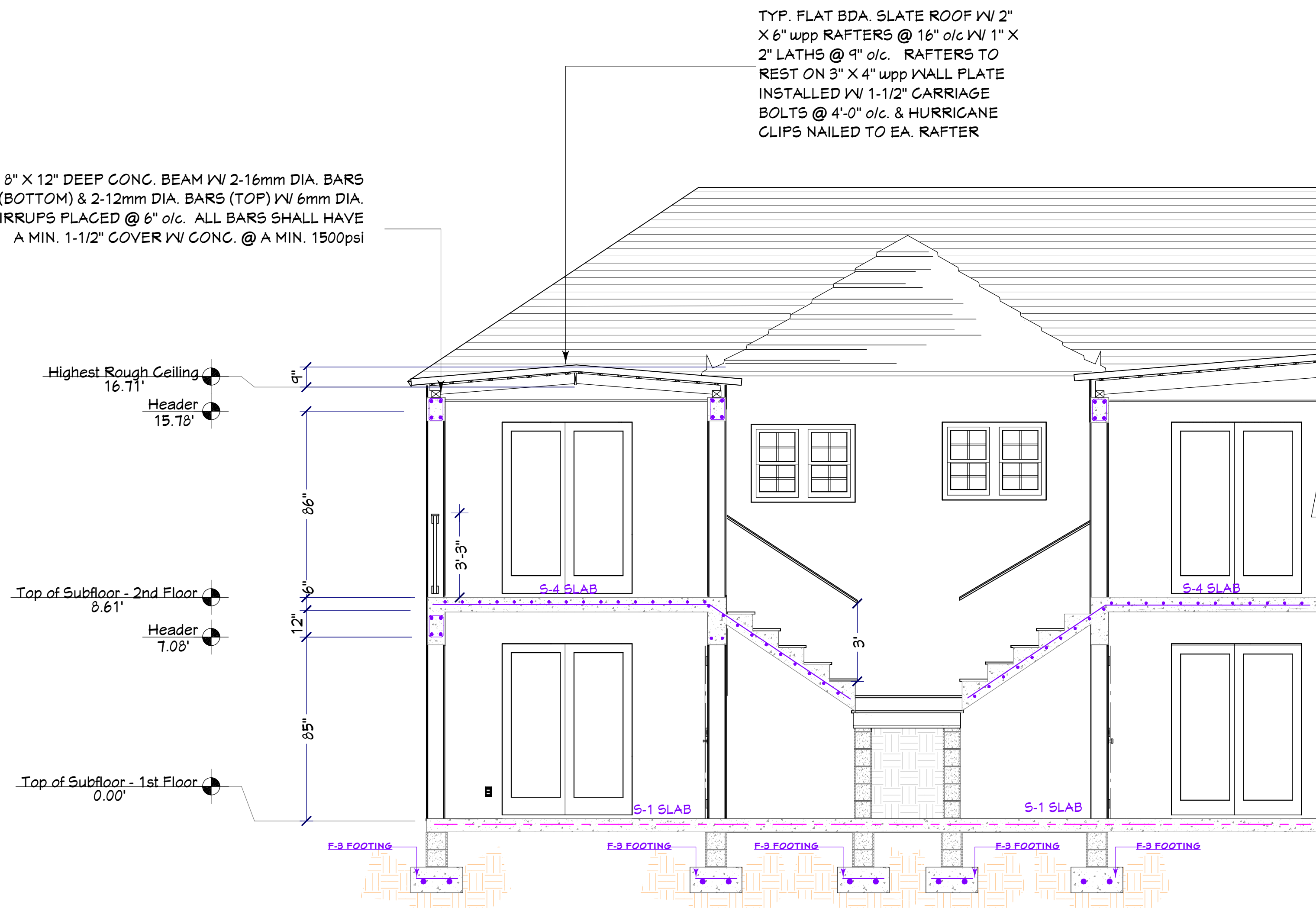


S1 SLAB - SLAB ON GRADE
 MIN. 6" SLAB ON GRADE REINFORCED WITH A-142 WIRE MESH ON TOP OF MIN. 5 MIL POLY MOISTURE BARRIER. SLAB TO BE Poured ON WELL COMPACT FILL. WIRE MESH SHALL HAVE A MIN. 1 1/2" CONCRETE COVER FROM TOP OF SLAB.



S4 SLAB - SUSPENDED SLAB
 6" REINFORCED CONCRETE SUSPENDED SLAB WITH 12mm DIA. BARS @ 8" o/c SHORT SPAN & 12mm DIA. BARS @ 10" o/c LONG SPAN WITH A-142 WIRE MESH PLACED ABOVE WITH MIN. 1 1/2" CONCRETE COVER. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 psi @ 28 DAYS.

8" X 12" DEEP CONG. BEAM W/ 2-16mm DIA. BARS (BOTTOM) & 2-12mm DIA. BARS (TOP) W/ 6mm DIA. STIRRUPS PLACED @ 6" o/c. ALL BARS SHALL HAVE A MIN. 1-1/2" COVER W/ CONG. @ A MIN. 1500psi



A-6
EBL BUILDING SECTION B-B
SCALE: 3/16" = 1'-0"

SHEET TITLE:
BUILDING SECTIONS

PROJECT DATA:
HARMONY TERRACE NORTH (BLOCK C)
 AT
#109 SOUTH ROAD, PAGET, PG-03

BY:	DATE:
EBLambert	DEC. 30/2025
SCALE:	JOB #:
AS SHOWN	BHC/HTN/11
SHEET #:	

A-6



RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.

SHEET TITLE:
ELEVATIONS



PROJECT DATA:
HARMONY TERRACE NORTH (BLOCK C)
 AT
#109 SOUTH ROAD, PAGET, PG-03

BY:	DATE:
EBLambert	DEC. 30/2025
SCALE:	JOB #:
AS SHOWN	BHC/HTN/17
SHEET #:	

A-7

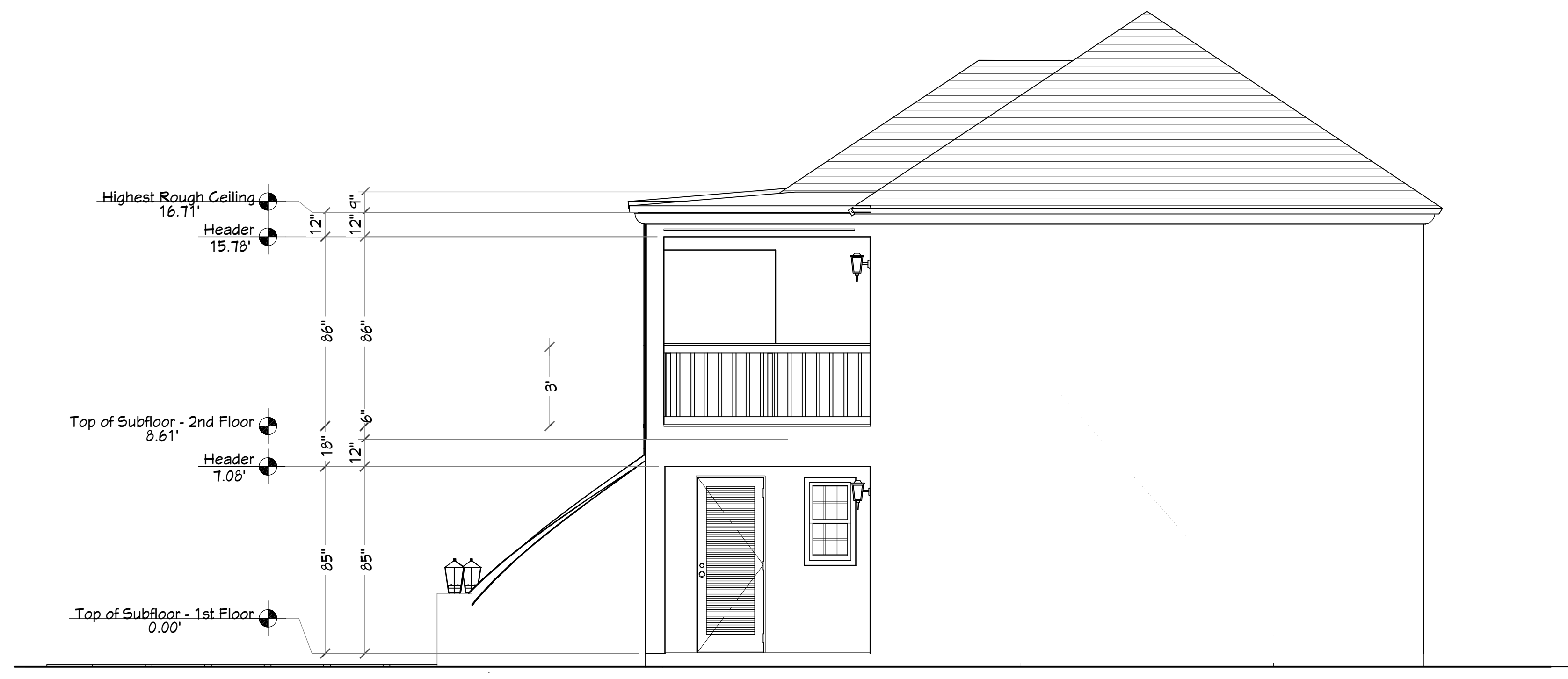
SHEET TITLE:
ELEVATIONS

PROJECT DATA:
**HARMONY TERRACE NORTH
(BLOCK C)
AT
#109 SOUTH ROAD, PAGET, PG-03**

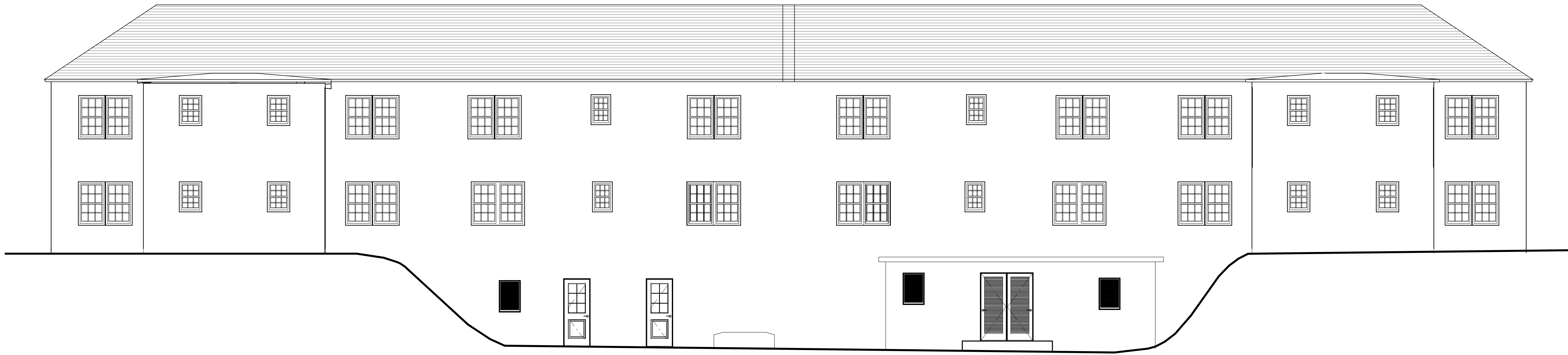
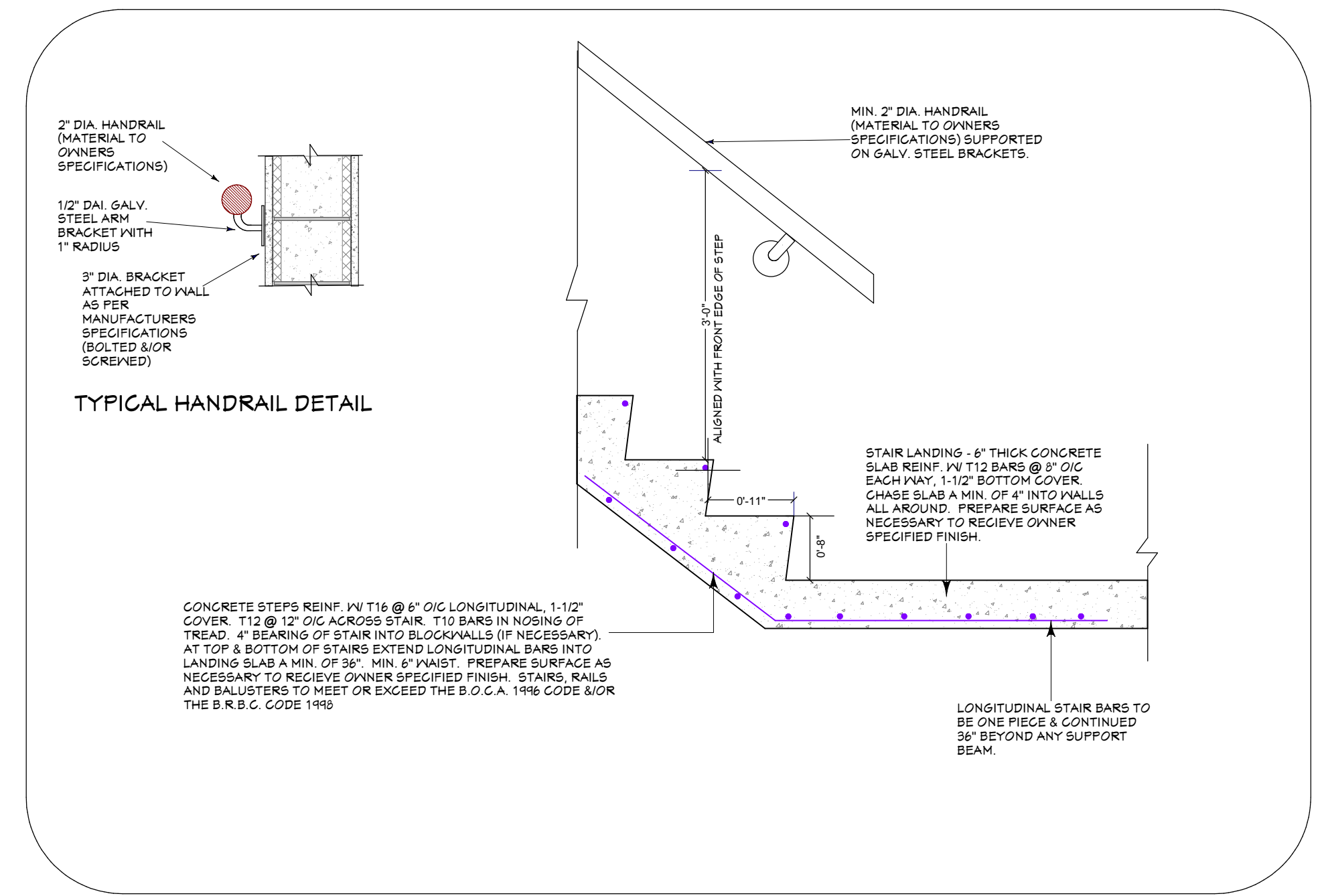
BY:	DATE:
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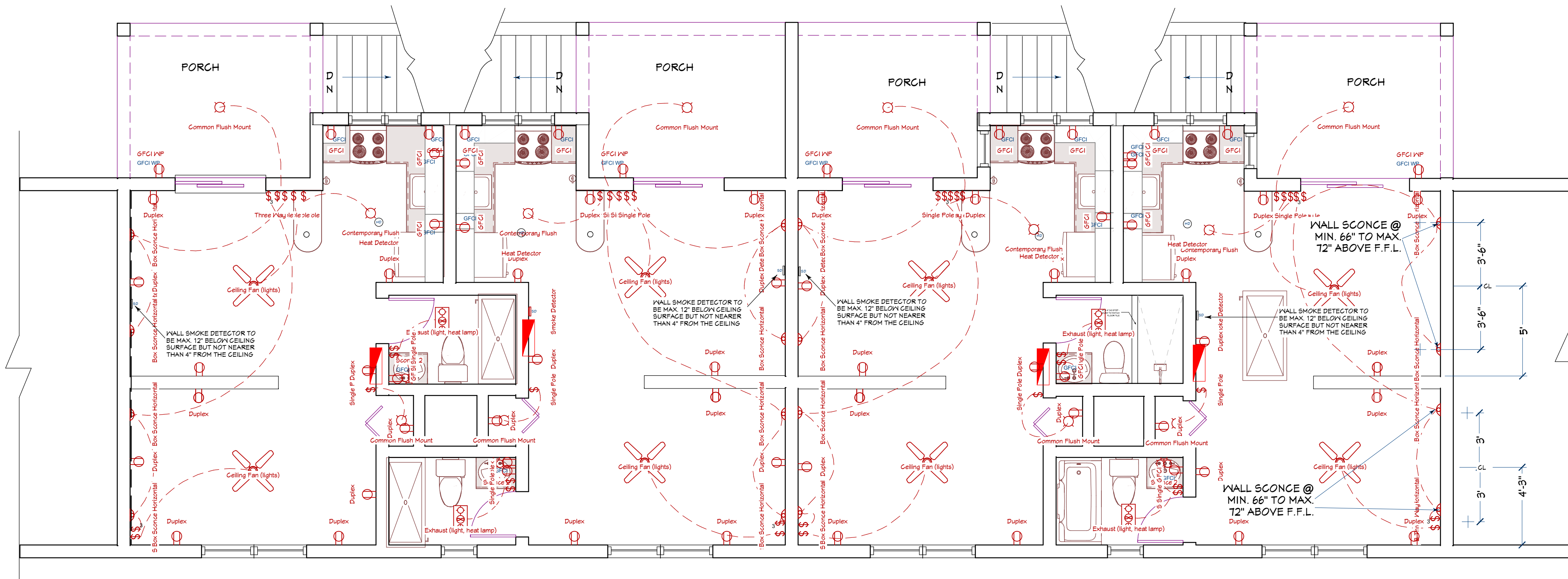
SHEET #:

A-8



A-8 SOUTH ELEVATION
EBL SCALE: 3/16" = 1'-0"





ELECTRICAL LEGEND	
	HARD WIRED SMOKE DETECTOR
	DUPLEX WALL MOUNTED 110V RECEPTACLE
	GROUND FAULT CIRCUIT INTERRUPTED DUPLEX RECEPTACLE
	THREE PHASE 220V RECEPTACLE
	FLOOR MOUNTED DUPLEX RECEPTACLE
	SINGLE POLE SWITCH
	3-WAY SWITCH
	TELEPHONE JACK
	NETWORK CABLE JACK
	EXHAUST FAN
	EXHAUST FAN WITH LIGHT
	CIRCUIT PANEL
	6\"/>
	CABLE TV
	40\"/>
	FLORESCENT LIGHT

A-10 EBL
ELECTRICAL PLAN - PARTIAL UPPER FLOOR
 SCALE: 1/4" = 1'-0"

ELECTRICAL, DATA, & AUDIO NOTES:
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:

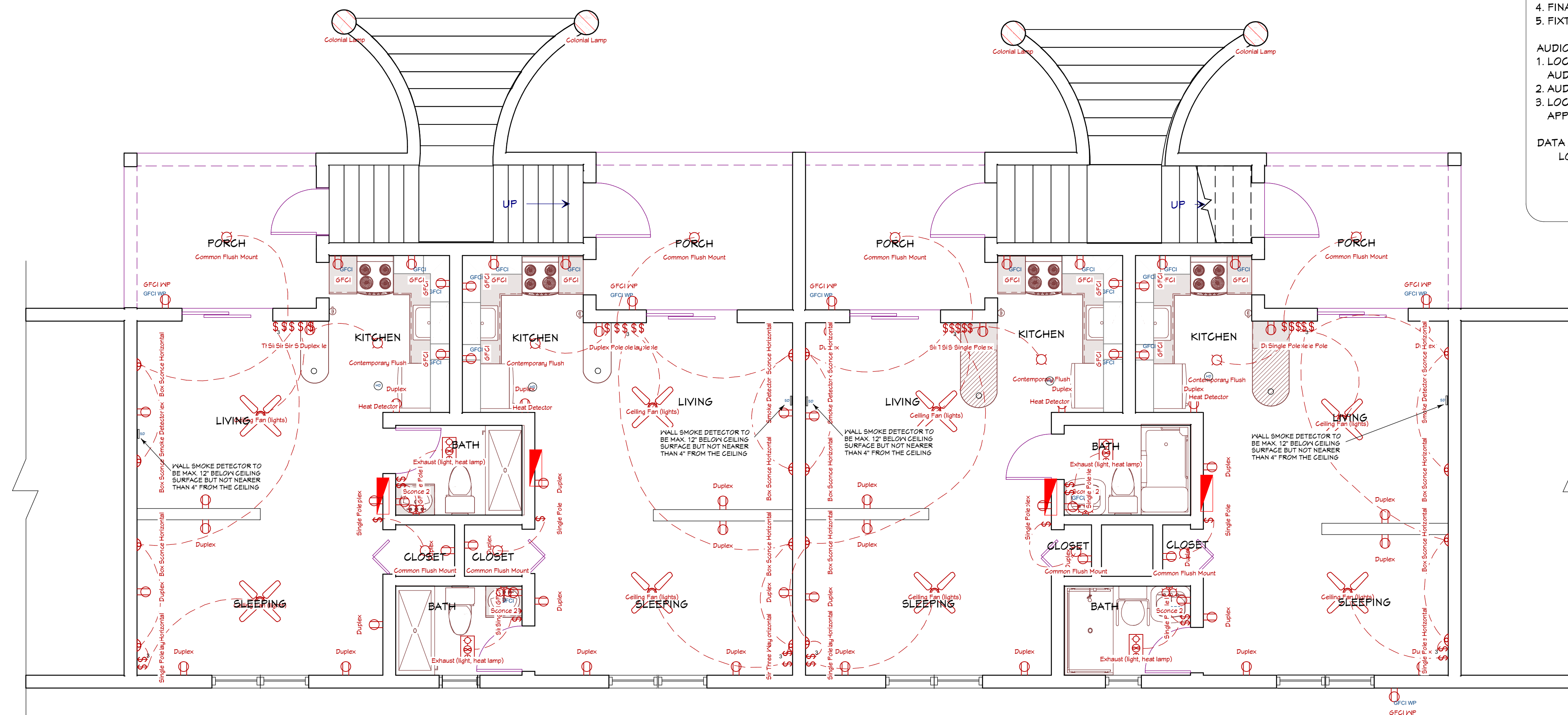
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
- FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
- FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:

- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
- AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
- LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.

DATA / CABLE:

LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

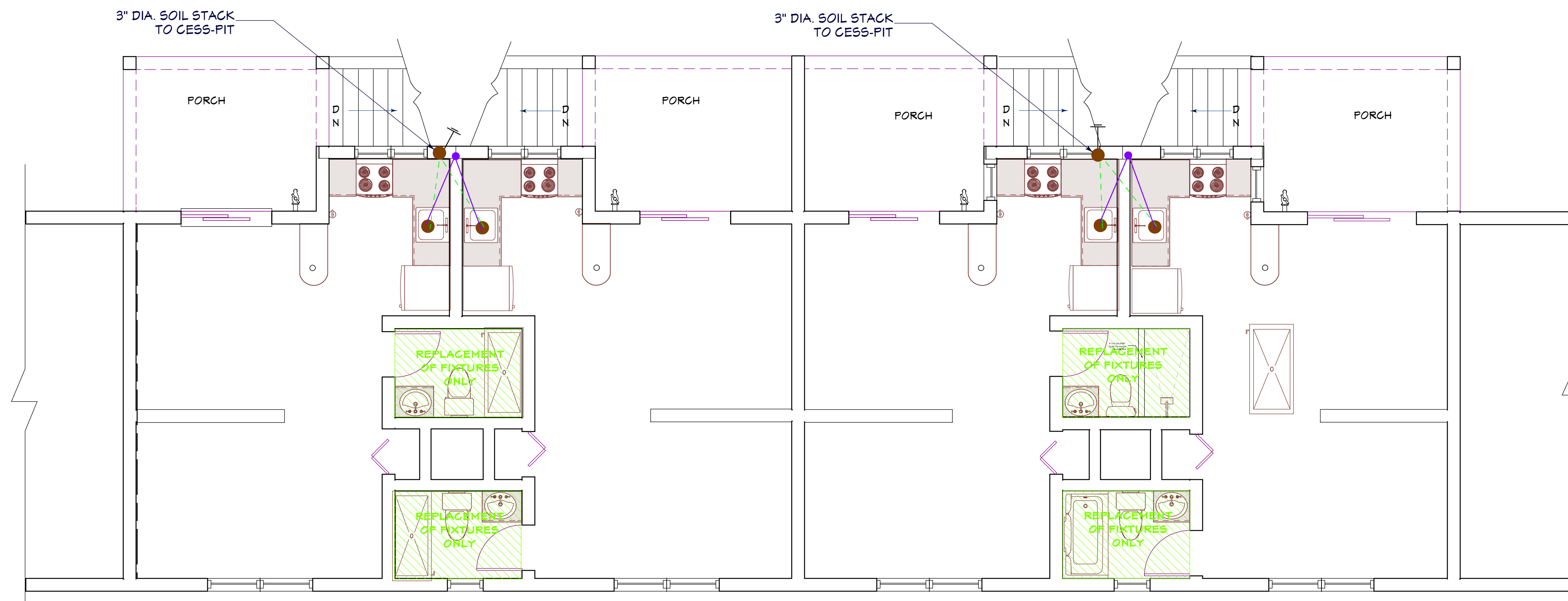


A-10 EBL
ELECTRICAL PLAN - PARTIAL LOWER FLOOR
 SCALE: 1/4" = 1'-0"

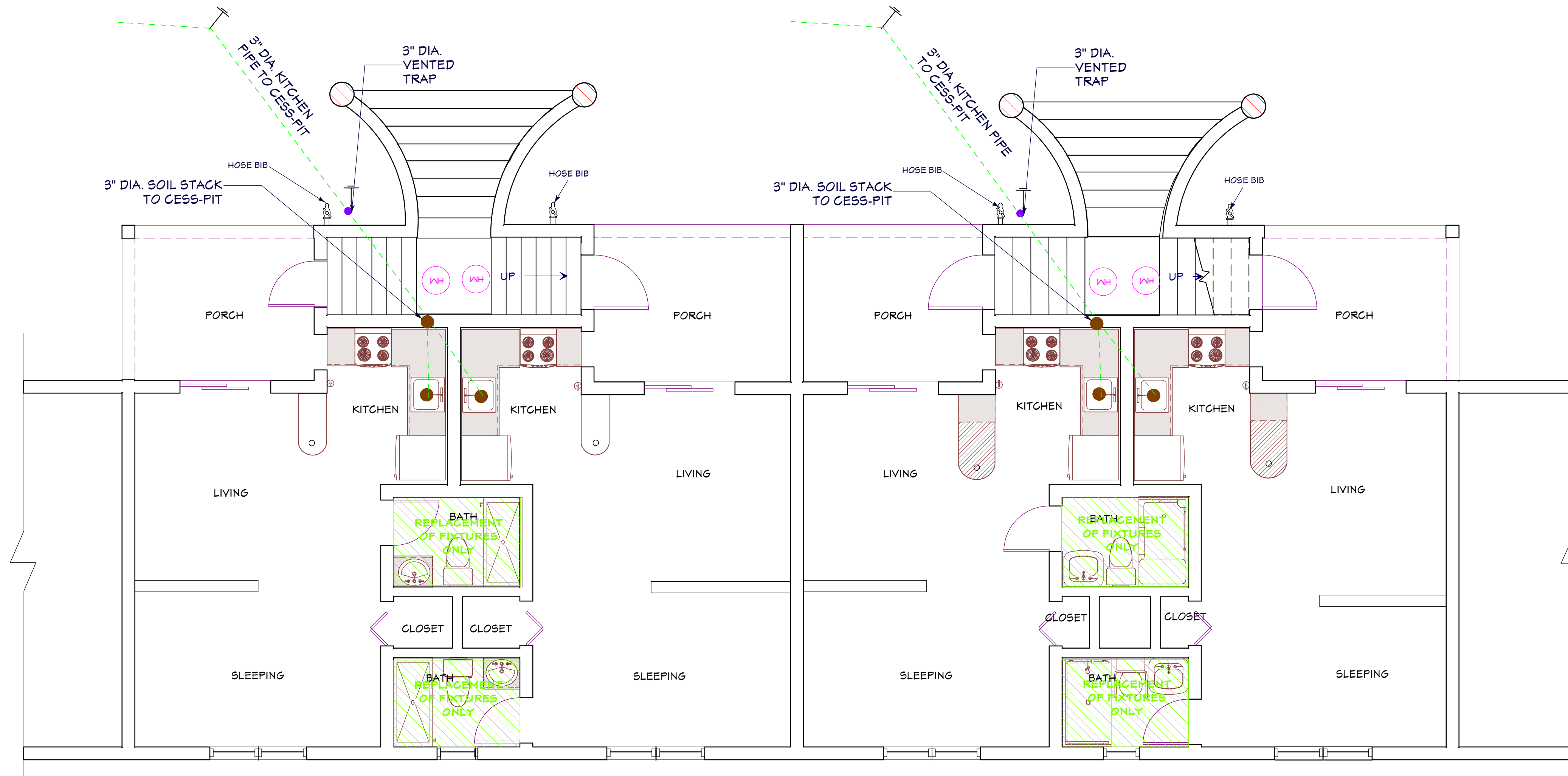
SHEET TITLE:
ELECTRICAL PLAN

PROJECT DATA:
HARMONY TERRACE NORTH
(BLOCK C)
 AT
#109 SOUTH ROAD, PAGET, PG-03

BY:	DATE:
EBLambert	DEC. 30/2025
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AS SHOWN	BHC/HTN/11
SHEET #:	



A-10
EBL
PLUMBING PLAN - PARTIAL UPPER FLOOR
SCALE: 1/4" = 1'-0"



A-10
EBL
PLUMBING PLAN - PARTIAL LOWER FLOOR
SCALE: 1/4" = 1'-0"

PLUMBING NOTES:
ALL PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH THE PUBLIC HEALTH ACT 1949, THE PLUMBING AND DRAINAGE REGULATIONS 1965, THE CITY OF HAMILTON SEWAGE ACT 1951 (IF APPLICABLE) AND ANY SUBSEQUENT REGULATIONS, REVISIONS OR AMENDMENTS. WHERE NOT SPECIFIED IN THE BERMUDA RESIDENTIAL BUILDING CODE 1998, THE MATERIALS, JOINTS, FIXTURES, DEVICES AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE INTERNATIONAL PLUMBING CODE PUBLISHED BY THE INTERNATIONAL CODE COUNCIL.

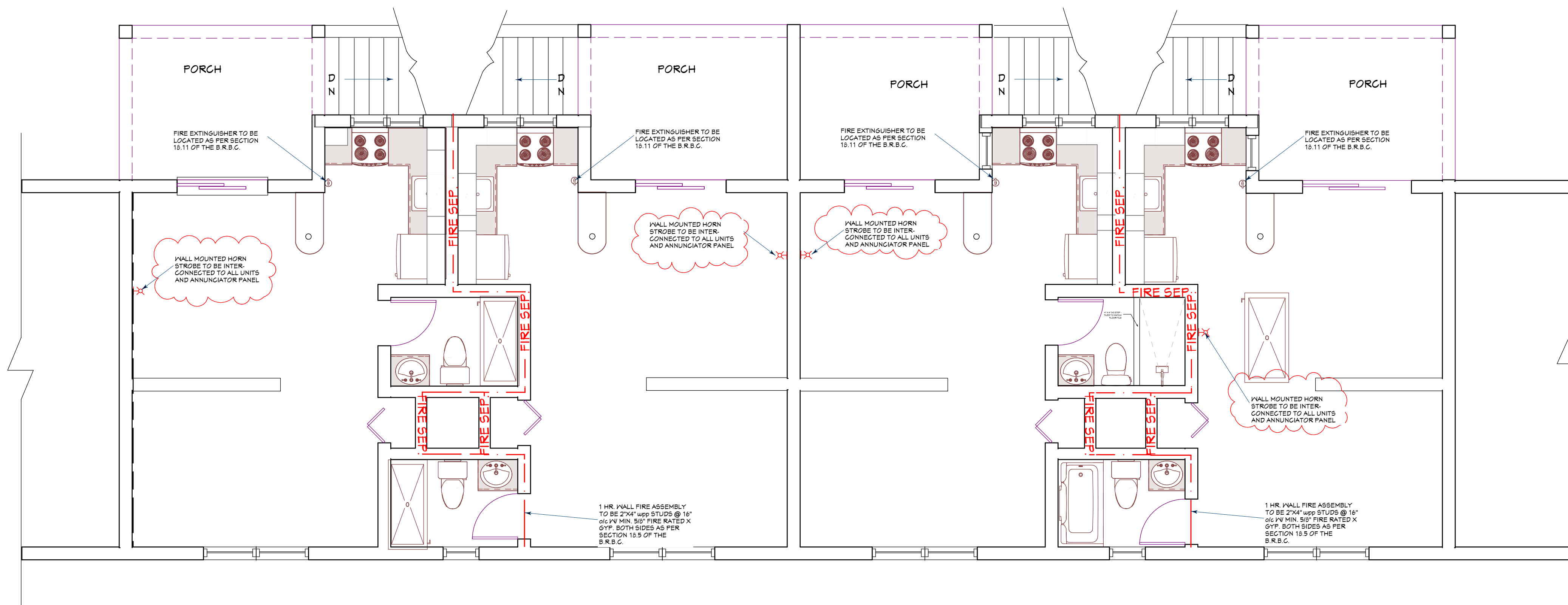
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PLUMBING PLAN

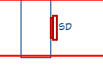
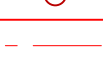


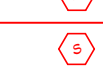









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(BLOCK C)**
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SCALE:	JOB #:
AS SHOWN	BHC/HTN/17

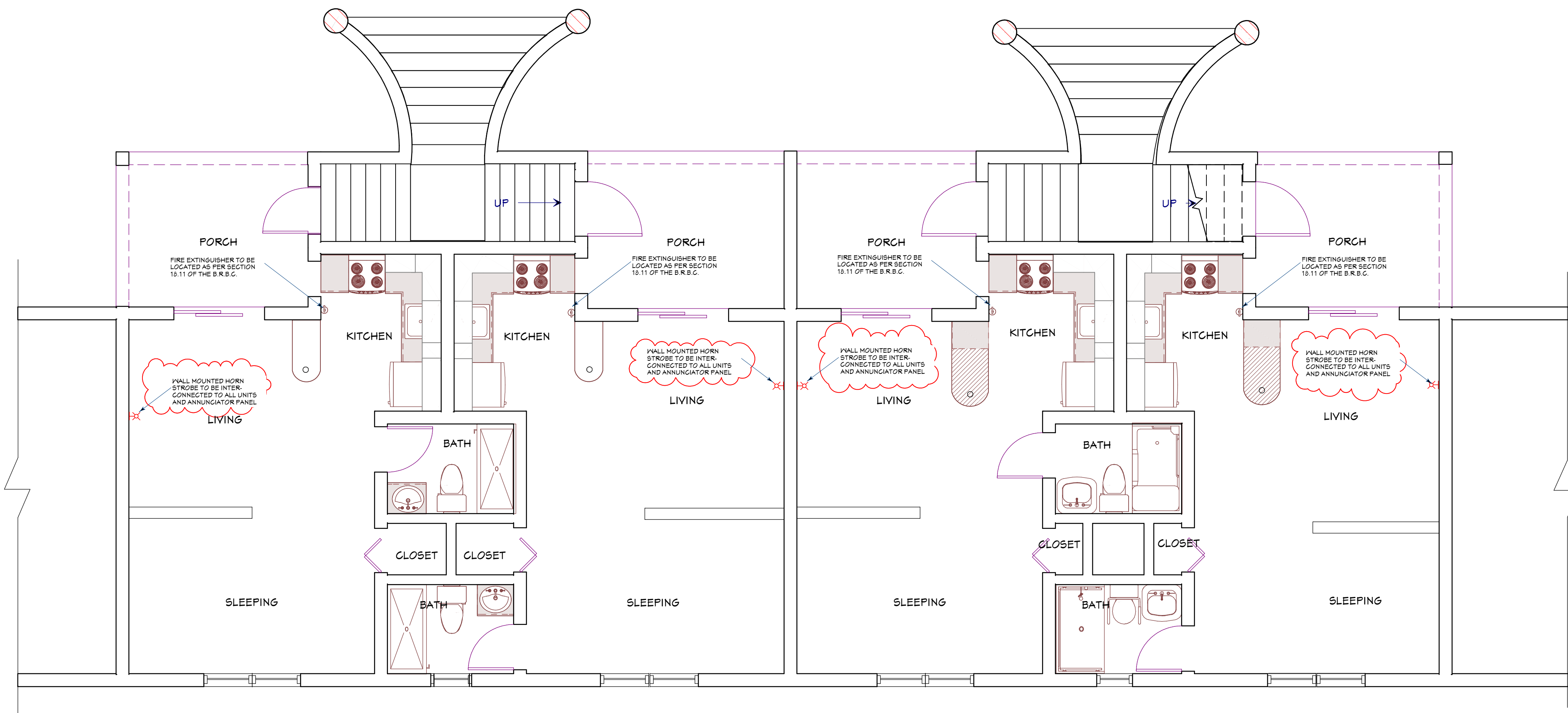
SHEET #:

A-10



FIRE PROTECTION LEGEND	
	WALL MOUNTED SMOKE DETECTOR
	CEILING MOUNTED HEAT DETECTOR
	1 HR. FIRE RATED WALL ASSEMBLY
	FIRE ALARM ANNUNCIATOR PANEL
	FIRE ALARM CONTROL UNIT
	CARBON DIOXIDE DETECTOR
	HEAT DETECTOR
	SMOKE DETECTOR
	HORN ONLY DEVICE
	COMBINATION HORN/STROBE DEVICE
	CEILING STROBE DEVICE
	WALL MOUNTED STROBE DEVICE
	FIRE PULL STATION
	FIRE EXTINGUISHER ABC TYPE

A-11
EBL
FIRE PROTECTION PLAN - PARTIAL UPPER FLOOR
SCALE: 1/4" = 1'-0"



A-11
EBL
FIRE PROTECTION PLAN - PARTIAL LOWER FLOOR
SCALE: 1/4" = 1'-0"

SHEET TITLE:
FIRE PROTECTION

PROJECT DATA:
**HARMONY TERRACE NORTH
(BLOCK C)**
AT
#109 SOUTH ROAD, PAGET, PG-03

BY: DATE:
EBLambert DEC. 30/2025
SCALE: JOB #:
AS SHOWN BHC/HTN/17

SHEET #:

A-11